

Office Use Only	5/24/24	\$ 250	P2C-24-28528
	Date Filed	Fee	Application Number



JOHNSON COUNTY, IOWA
APPLICATION FOR: SITE PLAN REVIEW

In accordance with chapter 8:1.25 of the Johnson County Unified Development Ordinance, a site plan shall be reviewed prior to issuance of a building permit in the RR, C, CH, AG-T, C-AG, ML, MH, and SWDRR zoning districts, and prior to commencing certain conditional uses permitted by the Board of Adjustment where required by Chapter 8:1.23.

Proposed Use of Structure(s): Auto Truck Center & RV sales center

Address of Location: 1152 HWY 965 NW

Subdivision Name and Lot Number: Lot 1, Swisher 60 Subdivision *proceeding through the approval process not yet recorded

Current Zoning: ML **Parcel Number:** 0304326002, 0304301002, 0304351004, 0304376002

NOTE: Complete Site Plan applications are not subject to the standard filing deadlines for development applications and may be submitted at any time. Once complete, they will be placed on the next available Board of Supervisors' Formal Agenda.

PLEASE PRINT OR TYPE

The undersigned affirms that the information provided herein is true and correct. If applicant is not the owner, applicant affirms that the owner(s) of the property described on this application consent to this application being submitted, and said owners hereby give their consent for the office of Johnson County Planning, Development, and Sustainability to conduct a site visit and photograph the subject property.

2612 REC, LLC c/o Todd Philipp
Name of Owner

Name of Applicant (if different)

941 66th Ave SW, Cedar Rapids, IA 52404
Applicant Street Address (including City, State, Zip)

319-533-5009
Applicant Phone

toddphilipp@autotruckcenter.net
Applicant Email

Applicant Signature

[See back page for Application Submittal Requirements and Checklist](#)

The following items must be submitted for the application to be complete. Once submitted, county staff will review the materials and request revisions (if necessary). Once all revisions and outside reviews have been received, the application will be placed on the next available Board of Supervisors agenda.



Electronic submissions – including CAD or GIS line work – should be submitted in accordance with the Planning Department's electronic submission guidelines (see below). Preference is that electronic submission is provided with a hard copy submission.

Initial each item below to confirm that you are aware of the submittal requirements for an application to be considered complete.

LSS A letter of intent explaining the proposed use including but not limited to the type of business, number of employees, parking facilities proposed, days and hours of operation, provisions for water and wastewater, type of equipment to be used, and signage.

LSS Two (2) copies of the site plan which includes all information required by section 8:1.25 of the Johnson County Unified Development Ordinance, including:

LSS Landscape Plan – should be a dedicated sheet

LSS Grading Plan, including Erosion and Sediment Control Plan/SWPPP – should be a dedicated sheet.

LSS Paving detail for entrances, drives, parking areas – can be included on other sheets or be on a dedicated sheet.

LSS Sensitive Areas Exhibit (delineations from the Sensitive Areas Report, shown on a dedicated sheet at the same scale as the site plan. This exhibit should show all proposed disturbance on the site including proposed building footprints and the extent of any grading).

LSS A copy of an approved ROW Permit (Access Permit) from Johnson County Secondary Roads or Iowa DOT for access sufficient to serve the use proposed in the application.

LSS Application Fee (\$250) is due at the time of submittal.

LSS One (1) copy of the Sensitive Areas Analysis in compliance with the Sensitive Areas Ordinance.

LSS One (1) copy of the Stormwater Management Plan (including soil erosion and sediment control) in compliance with the Stormwater Management regulations, or an approved waiver.

Electronic Submission Requirements – an electronic submission of all hard-copy materials required above should be submitted prior to hard copy delivery. In all cases, electronic submission is due by 12 noon the day after the submittal deadline for the application to be considered complete. Electronic submissions should include, and conform with, the following:

LSS Electronic or digitized copy (CAD line work or GIS geodatabase) of proposed plat in .dwg format (.dxf is also acceptable if .dwg is not an option. No .zip files will be accepted).

- Submission must be saved in AutoCAD 2007 or older format.
- Submissions must use Coordinate System: NAD_1983_StatePlane_Iowa_South_FIPS_1402_Feet
- If applicable, submission should include existing structures (if any), property lines, road right-of-way lines, required setback lines, and requested setback lines.
- Submission **MUST** include information for Sensitive Areas Analysis/Mapping and Stormwater/Soil Erosion Control infrastructure on the site. This includes any limits of disturbance or other impact areas.
- Submission should NOT include legends, legal descriptions, location maps, signature blocks, etc.

LSS A PDF of the entire application packet. A single PDF preferred; but a separate PDF for site plan, application materials, sensitive areas documentation, stormwater plan, and legal documents (if applicable) is acceptable.



MMS Consultants, Inc.
Experts in Planning and Development Since 1975

1917 S. Gilbert Street
Iowa City, Iowa 52240

319.351.8282

mmsconsultants.net
mms@mmsconsultants.net

May 21st, 2024

Mr. Josh Busard
Johnson County Planning, Development, & Sustainability Dept.
913 S. Dubuque St, Suite 204
Iowa City, IA 52240

RE: Lot 1, Swisher 60 Subdivision

Dear Josh:

On behalf of 2612 REC, LLC c/o Todd Philipp, we are submitting a site plan for Lot 1 of Swisher 60 Subdivision (subdivision pending final approval and recording). Lot 1 is currently zoned Light Industrial (ML) and is 17.26 acres in size. The site plan proposes the construction of a 53,000 SF auto truck center which will serve both as a dealership and a repair center, with the latter being the more dominant use. The site plan also illustrates an accessory building in the northeast corner of the site, a 2,112 SF shed that will be relocated to this area that was existing on a different portion of the Swisher 60 Subdivision.

Main access to Lot 1 will be facilitated by installation of a permanent dust free surface driveway to HWY 965 NW via a 66' wide ingress, egress and utility easement being established with the Swisher 60 Subdivision final plat. A ROW permit has been received by the City of Cedar Rapids for this access and included in this submittal package. The lot will also be accessible via Anderson Ave NW as shown on the site plan, also facilitated by a 66' wide ingress, egress, and utility easement.

The new facility will be served by a new well that will be located along the western line of Lot 1, featuring two (2) 10,000 gallon non-potable water storage tanks. The new facility will also be served by a new septic system to the south of the building, design of which has been included in the site plan. A wet bottom basin has been designed to facilitate stormwater management of Lot 1, as well as a majority of Swisher 60 Subdivision for the future development. A sensitive areas report was approved prior to subdividing, and updated and approved with the Swisher 60 Subdivision preliminary plat.

We have utilized the overstory and understory reductions to landscaping as outlined in section 8:1.25.6.b.v. of the PDS working copy of the county ordinances which incorporate the approved amendments.

Environmental Specialists

Landscape Architects

Land Planners

Land Surveyors

Civil Engineers



MMS Consultants, Inc.
Experts in Planning and Development Since 1975

1917 S. Gilbert Street
Iowa City, Iowa 52240

319.351.8282

mmsconsultants.net
mms@mmsconsultants.net

Please feel free to reach out with any questions or concerns.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Lacey Stutzman', written in a cursive style.

Lacey Stutzman

11801-001L4.docx

Environmental Specialists

Landscape Architects

Land Planners

Land Surveyors

Civil Engineers



LETTER OF TRANSMITTAL

TO: Johnson County Planning,
 Development, & Sustainability Dept.

Date: 5/23/202

Project #: 11801-001

From: Lacey Stutzman

RE: Lot 1 Swisher 60 Subdivision - Site Plan

We are sending you the following attached items:

COPIES	DATE	PROJECT NO.	DESCRIPTION
2			Site plan
1			Letter of Intent
1			Signed Application
1			Check for filing fee \$250, MMS check #71904

These are transmitted as checked below:

- | | | |
|--------------------------------------------------|-----------------------------------------------------------|---------------------------------------------------------|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> For Approval & Signature |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned as noted | <input type="checkbox"/> For Recording |
| <input type="checkbox"/> For review & comment | <input type="checkbox"/> Prints returned after loan to us | <input type="checkbox"/> Other |

REMARKS:

MMS Consultants, Inc.

COPY TO: _____

Received by: _____ Date: _____ Time: _____

IF ENCLOSURES ARE NOT NOTED, KINDLY NOTIFY US AT ONCE.

Environmental Specialists

Landscape Architects

Land Planners

Land Surveyors

Civil Engineers



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SITE LAYOUT & DIMENSION PLAN

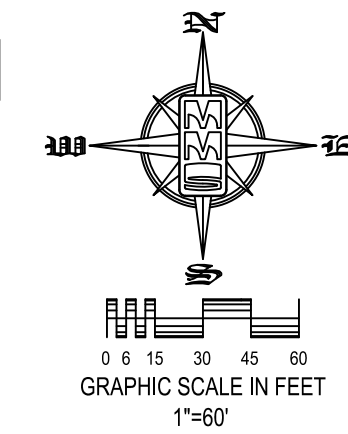
LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.
Date: 03-20-2024
Designed by: CAT/LSS Field Book No:
Drawn by: ADP Scale: 1"=60'
Checked by: CAT Sheet No:
Project No: C120
11801-001 OF SHEET

SITE PLAN
LOT 1, SWISHER 60 SUBDIVISION
JOHNSON COUNTY, IOWA

PLAN PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IOWA 52240
OWNER/APPLICANT: 2612 REC. LLC 1769 HAWTHORN LANE NE SOLON, IOWA 52333
APPLICANT'S ATTORNEY: LESLIE L. MOORE 320 KIRKWOOD AVE IOWA CITY, IOWA 52240



LEGAL DESCRIPTION
LOT 1, SWISHER 60 SUBDIVISION, JOHNSON COUNTY, IOWA, ACCORDING TO THE PLAT THEREOF RECORDED IN THE PLAT RECORDS OF JOHNSON COUNTY, IOWA.

DEVELOPMENT CHARACTERISTICS

CURRENT ZONING: ML (LIGHT INDUSTRIAL)
SETBACK REQUIREMENTS:
BUILDING SETBACKS: REQUIRED:
FRONT YARD 50 FEET
SIDE YARD 20 FEET
REAR YARD 50 FEET

PROPOSED COVERAGE:
LOT AREA: (17.26 AC.) 751,991 SF (100%)
BUILDING AREA - 55,112 SF (7.3%)
PAVING AREA - 432,891 SF (57.6%)
GREEN SPACE AREA - 264,492 SF (35.2%)

PARKING CALCULATIONS:
OTHER COMMERCIAL USE (SERVICE):
1 SPACE PER 1,000 SF BUILDING AREA
57,050 / 1,000 = 57 SPACES
1 SPACE PER EMPLOYEE OF LARGEST SHIFT = 30 SPACES
57 + 30 = 87 SPACES

DEALERSHIP USE:
1 SPACE PER 600 SF BUILDING AREA
5,050 / 600 = 9 SPACES
1 SPACE PER EMPLOYEE = 5 SPACES
9 + 5 = 14 SPACES

101 SPACES REQUIRED
101 SPACES PROVIDED (5 ADA SPACES)

BICYCLE PARKING:
2 PER PROPERTY PLUS 2 FOR EVERY 50 REQUIRED PARKING SPACES - 6 REQUIRED

GENERAL NOTES
1. ALL LIGHTING SHALL BE IN ACCORDANCE WITH COUNTY REGULATION.
2. NO SIGNAGE IS PROPOSED, ANY FUTURE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH COUNTY REGULATION.

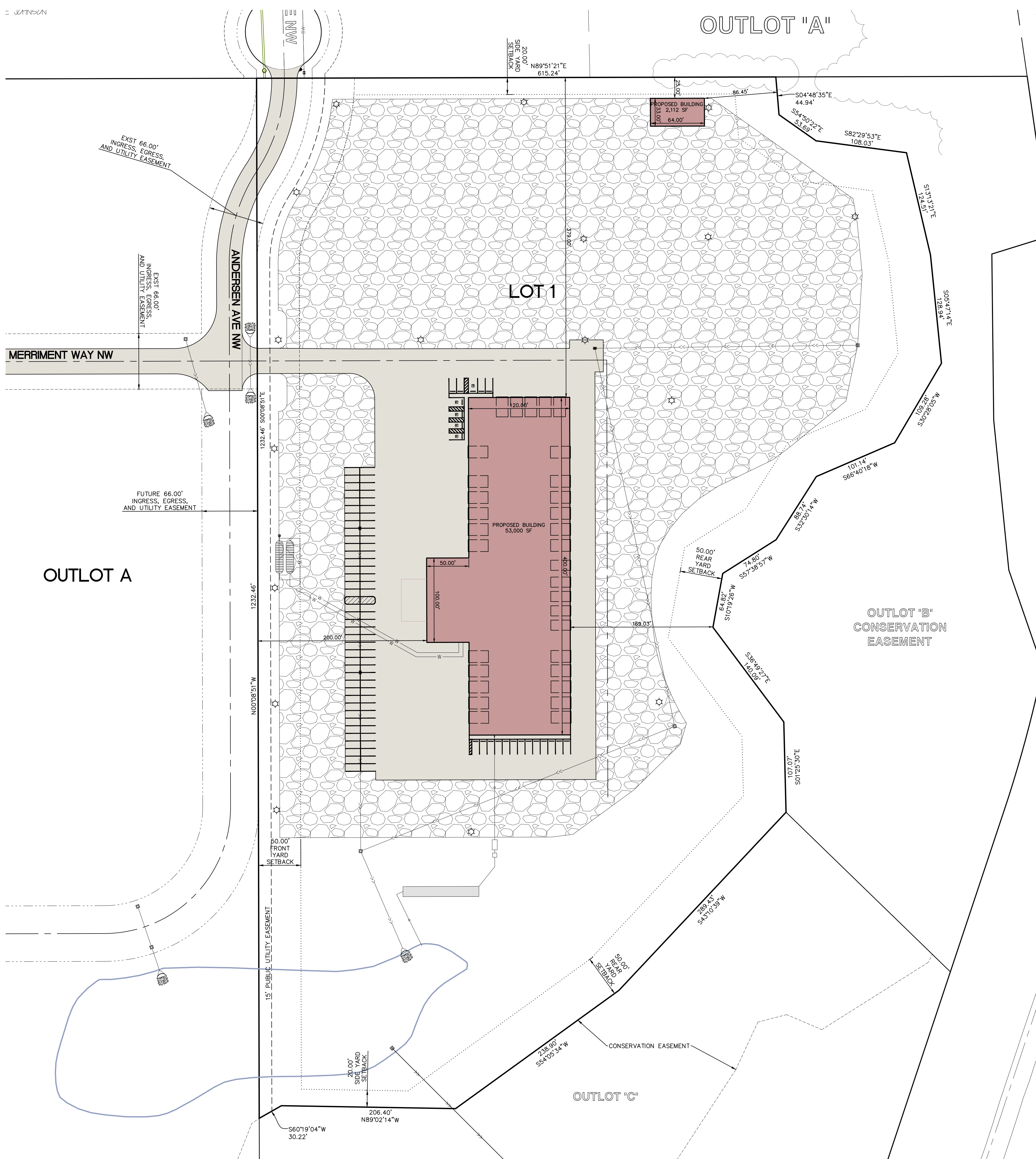
SHEET INDEX

Table with 2 columns: Sheet Number and Description. Includes sheets for site layout, grading, utility plans, and details.

STANDARD LEGEND AND NOTES

Legend table listing symbols for property boundaries, easements, utilities, trees, and other site features.

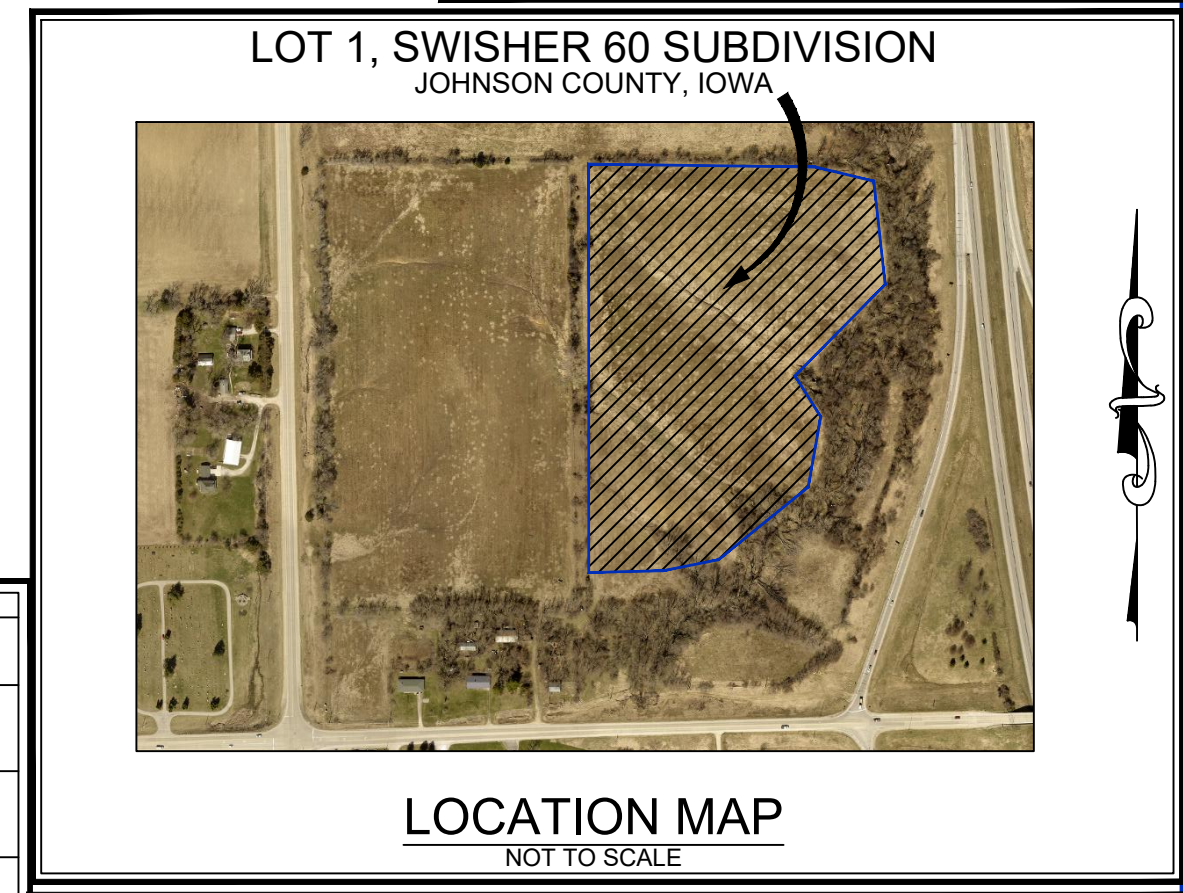
THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

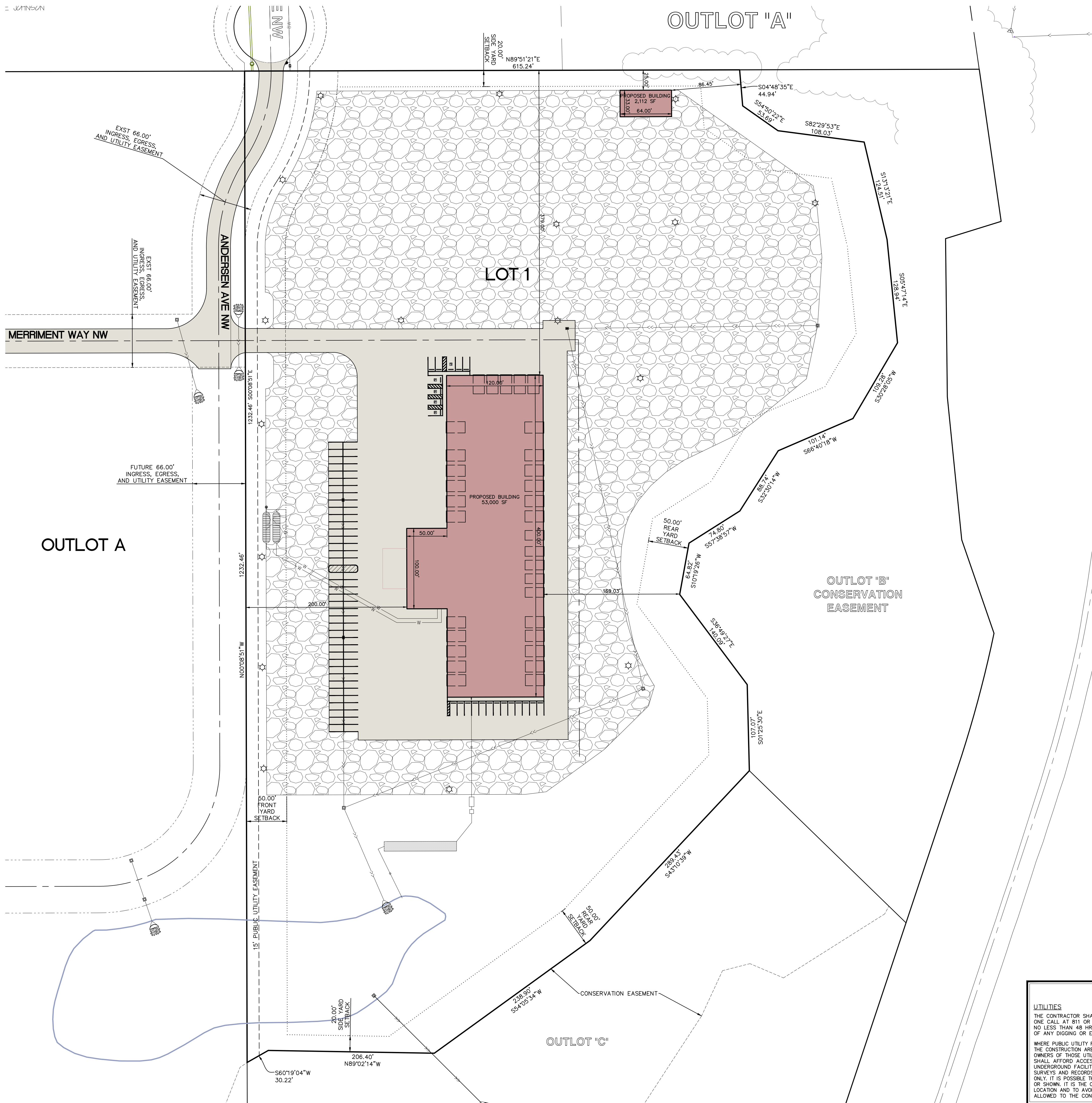


Approval table with columns for Plat/Plan Approved By, Applicant, and Date. Includes signatures for Johnson County PDS Administrator, Public Health Dept. Coord., and Secondary Roads Coordinator.

Utilities section with Iowa One Call logo and text: 'THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.'

Professional Engineer seal for Christopher A. Thompson, License No. 25323, and a large 'DRAFT' watermark.





SITE PLAN

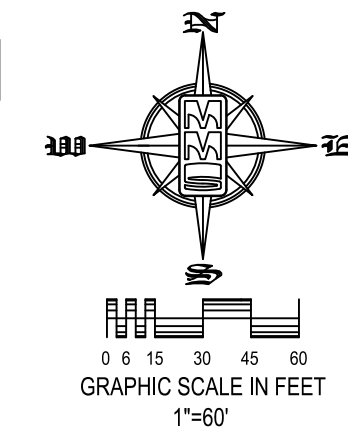
LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
2612 REC. LLC
1769 HAWTHORN LANE NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
LESLIE L. MOORE
320 KIRKWOOD AVE
IOWA CITY, IOWA 52240



LEGAL DESCRIPTION

LOT 1, SWISHER 60 SUBDIVISION, JOHNSON COUNTY, IOWA, ACCORDING TO THE PLAT THEREOF RECORDED IN THE PLAT RECORDS OF JOHNSON COUNTY, IOWA.

DEVELOPMENT CHARACTERISTICS

CURRENT ZONING: ML (LIGHT INDUSTRIAL)

SETBACK REQUIREMENTS:

BUILDING SETBACKS:	REQUIRED:
FRONT YARD	50 FEET
SIDE YARD	20 FEET
REAR YARD	50 FEET

PROPOSED COVERAGE:

LOT AREA: (17.26 AC.)	751,991 SF	(100%)
BUILDING AREA -	55,112 SF	(7.3%)
PAVING AREA -	432,891 SF	(57.6%)
GREEN SPACE AREA -	264,492 SF	(35.2%)

PARKING CALCULATIONS:

OTHER COMMERCIAL USE (SERVICE):
1 SPACE PER 1,000 SF BUILDING AREA
57,050 / 1,000 = 57 SPACES
1 SPACE PER EMPLOYEE OF LARGEST SHIFT = 30 SPACES
57 + 30 = 87 SPACES

DEALERSHIP USE:

1 SPACE PER 600 SF BUILDING AREA
5,050 / 600 = 9 SPACES
1 SPACE PER EMPLOYEE = 5 SPACES
9 + 5 = 14 SPACES

101 SPACES REQUIRED

101 SPACES PROVIDED (5 ADA SPACES)

BICYCLE PARKING:

2 PER PROPERTY PLUS 2 FOR EVERY 50 REQUIRED PARKING SPACES - 6 REQUIRED

GENERAL NOTES

- ALL LIGHTING SHALL BE IN ACCORDANCE WITH COUNTY REGULATION.
- NO SIGNAGE IS PROPOSED, ANY FUTURE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH COUNTY REGULATION.

SHEET INDEX

Sheet No.	Description
C120	SITE LAYOUT & DIMENSION PLAN
C121	DETAILED SITE DIMENSION PLAN
C140	SITE GRADING PLAN AND SWPPP
C141	DETAILED SITE GRADING PLAN: NORTH
C142	DETAILED SITE GRADING PLAN: SOUTH
C160	SITE UTILITY PLAN
C161	SEPTIC DESIGN
C500	GENERAL NOTES AND DETAILS
CL100	SITE LANDSCAPE PLAN
CP100	PAVING PLAN AND PROFILE:
	MERRIMENT WAY NW
CP101	PAVING PLAN AND PROFILE:
	ANDERSEN AVE NW
CP400	INTERSECTION DETAIL: HIGHWAY 965
	NW & MERRIMENT WAY NW
CP401	INTERSECTION DETAIL: MERRIMENT
	WAY NW & ANDERSEN AVE NW
CP402	INTERSECTION DETAIL: ANDERSEN AVE
	NW CONNECTION

STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
(R)	RECORDED DIMENSIONS
22-1	CURVE SEGMENT NUMBER
EXIST	POWER POLE
PROP	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	DECIDUOUS TREE
	SHRUBS
	EVERGREEN TREE
X	FENCE LINE
	PROPOSED GEOTHERMAL LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
W	WATER LINES
E	ELECTRICAL LINES
T	TELEPHONE LINES
G	GAS LINES
	CONTOUR LINES (INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

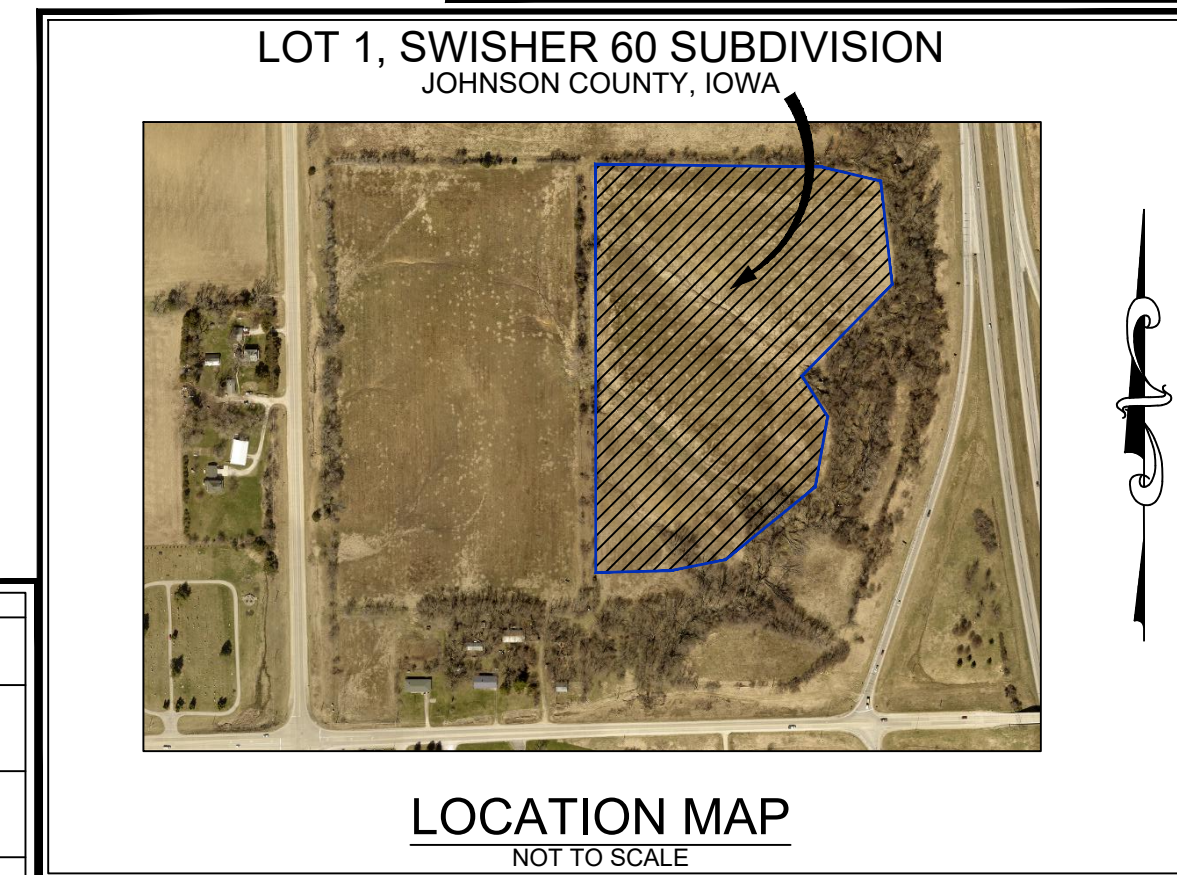


CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision

SITE LAYOUT & DIMENSION PLAN



PLAT/PLAN APPROVED BY:	
JOHNSON COUNTY PDS ADMINISTRATOR	DATE
JOHNSON COUNTY PUBLIC HEALTH DEPT. COORD.	DATE
JOHNSON COUNTY SECONDARY ROADS COORDINATOR	DATE
APPLICANT	DATE

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL

I hereby certify that this engineering document was prepared by me or under my direct supervision and approval by a duly licensed Professional Engineer under the laws of the State of Iowa.

CHRISTOPHER A. THOMPSON, P.E. Iowa Lic. No. 25323

My license expires on October 31, 20__.

Project sheets covered by this seal:

SEAL

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 03-20-2024

Designed by: CAT/LSS Field Book No.:

Drawn by: ADP Scale: 1"=60'

Checked by: CAT Sheet No.:

Project No: 11801-001

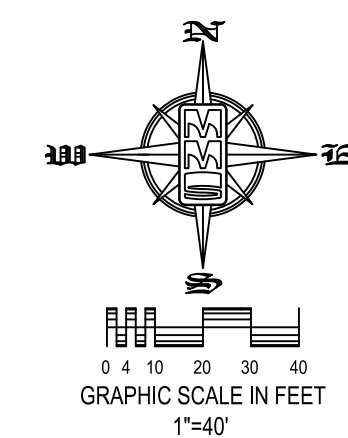
C120 OF SHEET

SITE PLAN LOT 1, SWISHER 60 SUBDIVISION JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
2612 REC, LLC
1769 HAWTHORN LANE NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
LESLIE L. MOORE
323 KIRKWOOD AVE
IOWA CITY, IOWA 52240



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date: _____ Revision: _____

SHEET INDEX	
C120	SITE LAYOUT & DIMENSION PLAN
C121	DETAILED SITE DIMENSION PLAN
C140	SITE GRADING PLAN AND SWPPP
C141	DETAILED SITE GRADING PLAN: NORTH
C142	DETAILED SITE GRADING PLAN: SOUTH
C160	SITE UTILITY PLAN
C161	SEPTIC DESIGN
C500	GENERAL NOTES AND DETAILS
CL100	SITE LANDSCAPE PLAN
CP100	PAVING PLAN AND PROFILE: MERRIMET WAY NW
CP101	PAVING PLAN AND PROFILE: ANDERSEN AVE NW
CP400	INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMET WAY NW
CP401	INTERSECTION DETAIL: MERRIMET WAY NW & ANDERSEN AVE NW
CP402	INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

(R) 22-1

- EXISTING POWER POLE
- PROPOSED POWER POLE
- EXISTING POWER POLE W/DROP
- PROPOSED POWER POLE W/DROP
- EXISTING POWER POLE W/TRANS
- PROPOSED POWER POLE W/TRANS
- EXISTING GUY POLE
- PROPOSED GUY POLE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- DECIDUOUS TREE
- SHRUBS
- EVERGREEN TREE
- FENCE LINE
- PROPOSED GEOTHERMAL LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (INTERVAL)
- EXISTING TREE LINE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

PAVEMENT LEGEND

- 7" PCC OVER 6" ROCK BASE - PAVEMENT SHALL SUPPORT AT LEAST 75,000 LBS. (98,349 SF)
- ASPHALT MILLINGS (335,275 SF)

NOTE: CALCULATED PAVING AREAS LISTED ON THIS LEGEND INCLUDE AREAS WHICH ARE LOCATED BEYOND LOT 1 BOUNDARY

KEYNOTES

NUMBER	KEYNOTE	DETAIL
101	PROPOSED PAVEMENT (THICKNESS AND MATERIAL AS NOTED IN PAVEMENT LEGEND ABOVE)	
102	PROPOSED 4" WIDE PAVEMENT MARKING	
103	PROPOSED OVERHEAD DOOR LOCATION	
104	INSTALL LIGHT POLE	
105	PROPOSED ADA STRIPING AND SIGNAGE	
106		

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE, THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

DETAILED SITE DIMENSION PLAN

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 03-20-2024

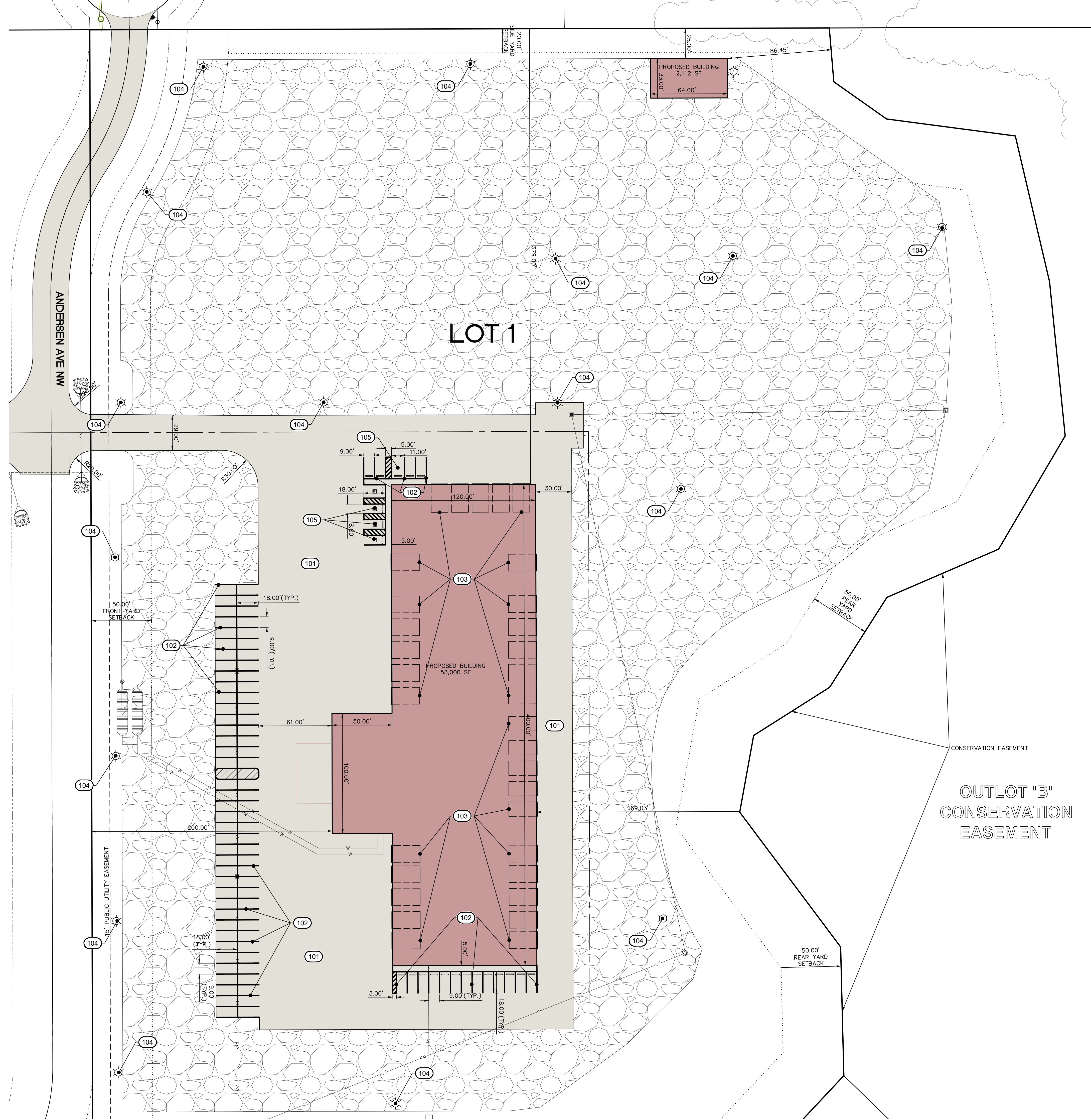
Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=40'

Checked by: CAT Sheet No:

Project No: 11801-001

C121 OF SHEET





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SITE GRADING PLAN
AND SWPPP

LOT 1, SWISHER
60 SUBDIVISION

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 03-20-2024

Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=60'

Checked by: CAT Sheet No:

Project No: C140

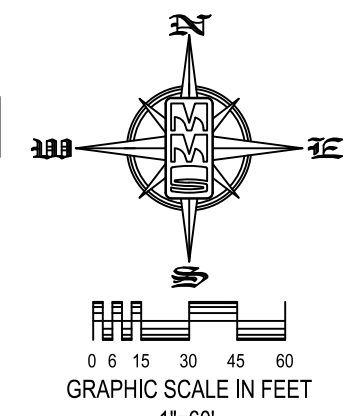
11801-001 OF SHEET

SITE PLAN LOT 1, SWISHER 60 SUBDIVISION JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
LESLIE L. MOORE
2612 REC. LLC
1769 HAWTHORN LANE NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
320 KIRKWOOD AVE
IOWA CITY, IOWA 52240



EROSION CONTROL LEGEND

	SILT FENCE/FILTER SOCK		PERIMETER SILT FENCE
	EROSION CONTROL MATTING IN ALL AREAS OF STORM BASIN/BIO CELL THAT ARE 4:1 SLOPES AND SPILLWAYS		TEMPORARY SOIL STOCKPILE AREA
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT		DIRECTION OF OVERLAND FLOW
	TEMPORARY PARKING AND STORAGE		DUMPSTER FOR CONSTRUCTION WASTE. Provide a covered dumpster which is recommended by the City of Iowa City and EPA for construction storm water pollution prevention. See Page 30 of the EPA's Developing Your Storm Water Pollution Prevention Plan, A Guide for Construction Sites, EPA-833-R-06-004, May 2007.
	CONCRETE TRUCK/EQUIPMENT WASHOUT		OTHER MEASURE: _____
	PORTABLE RESTROOM. EPA and Iowa DNR both recommend that the unit and area are maintained clean and that the units are regularly emptied.		OTHER MEASURE: _____
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)		OTHER MEASURE: _____
	FILTER SOCK INLET PROTECTION		
	FILTER SOCK BEHIND CURB AT CURB RAMP		

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 17.26 ACRES
TOTAL AREA TO BE DISTURBED: 17.26 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE COUNTY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

EROSION CONTROL MEASURES, INCLUDING, BUT NOT LIMITED TO, TEMPORARY ROCK CONSTRUCTION ENTRANCE, CONCRETE WASHOUT, TEMPORARY PARKING AREA, AND STORAGE AREAS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9040 SUDAS STANDARD SPECIFICATIONS.

DUE TO PHASED CONSTRUCTION OF DRIVE AND BUILDING, EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED BASED ON THE PHASE AND EXTENTS OF LAND DISTURBANCE. CONTRACTOR SHALL COORDINATE WITH COUNTY INSPECTORS TO ENSURE THAT NO MATERIAL LEAVES THE SITE, AND THAT ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH JOHNSON COUNTY ENVIRONMENTAL REGULATIONS.

SILT FENCE DETAIL

N.T.S.

INSTALLATION

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST.
- WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE SIDES OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

MAINTENANCE

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT PRODUCING RUN-OFF. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES.

TABLE 9010.06: TYPE 4 SEED MIXTURE

COMMON NAME	APPLICATION RATE lb/acre
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAIN RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.

FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)

STANDARD LEGEND AND NOTES

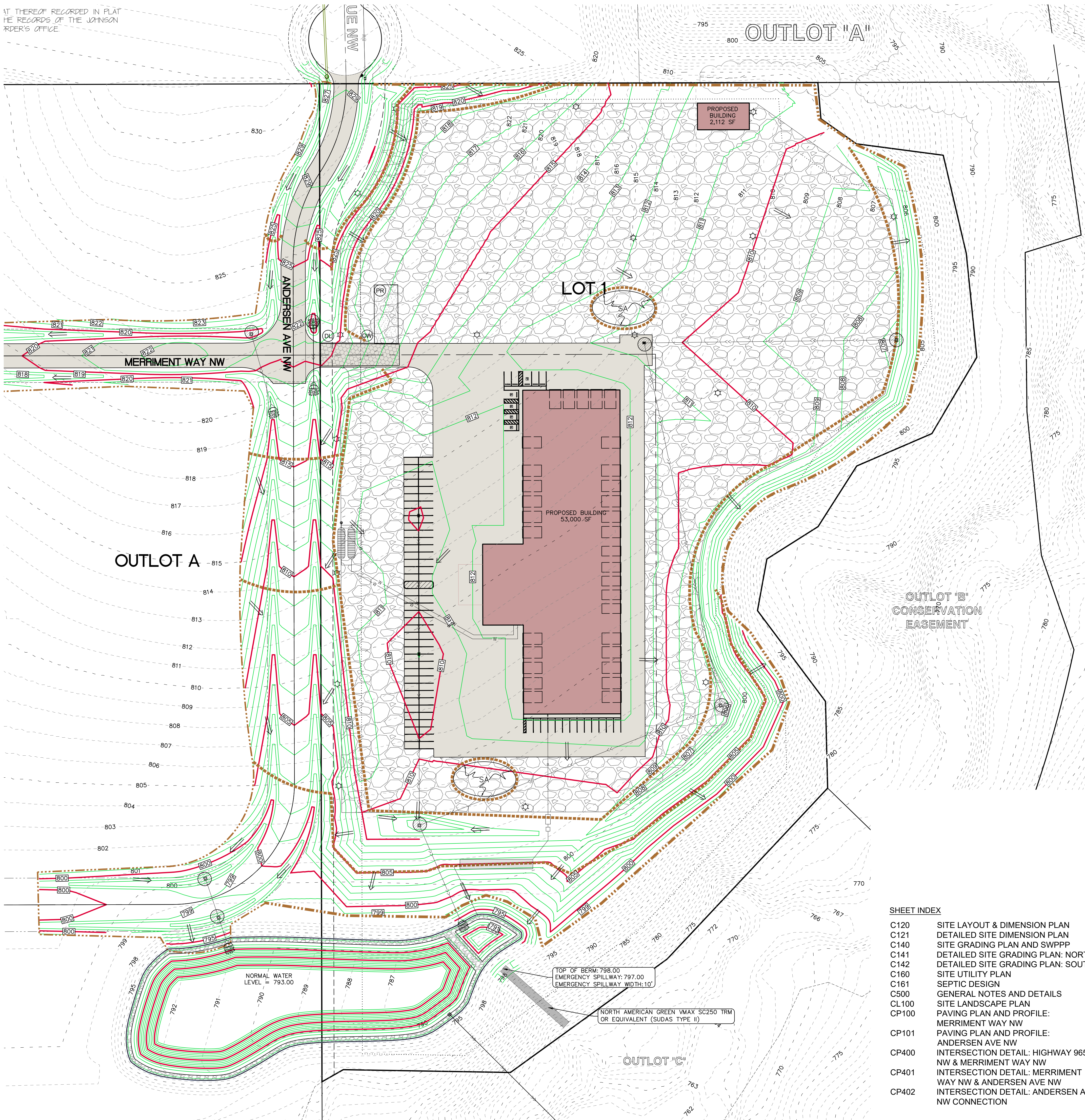
	PROPERTY &/or BOUNDARY LINES		POWER POLE
	CONGRESSIONAL SECTION LINES		POWER POLE W/DROP
	RIGHT-OF-WAY LINES		POWER POLE W/TRANS
	EXISTING RIGHT-OF-WAY LINES		GUY POLE
	CENTER LINES		LIGHT POLE
	EXISTING CENTER LINES		SANITARY MANHOLE
	LOT LINES, INTERNAL		FIRE HYDRANT
	LOT LINES, PLATTED OR BY DEED		WATER VALVE
	PROPOSED EASEMENT LINES		DRAINAGE MANHOLE
	EXISTING EASEMENT LINES		CURB INLET
	BENCHMARK		DECIDUOUS TREE
	RECORDED DIMENSIONS		SHRUBS
	CURVE SEGMENT NUMBER		EVERGREEN TREE
	FENCE LINE		PROPOSED GEOTHERMAL LINE
	PROPOSED GEOTHERMAL LINE		EXISTING SANITARY SEWER
	EXISTING SANITARY SEWER		PROPOSED STORM SEWER
	PROPOSED STORM SEWER		WATER LINES
	WATER LINES		ELECTRICAL LINES
	TELEPHONE LINES		GAS LINES (INTERVAL)
	GAS LINES (INTERVAL)		PROPOSED GROUND
	PROPOSED GROUND		EXISTING TREE LINE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



SHEET INDEX

C120	SITE LAYOUT & DIMENSION PLAN
C121	DETAILED SITE DIMENSION PLAN
C140	SITE GRADING PLAN AND SWPPP
C141	DETAILED SITE GRADING PLAN: NORTH
C142	DETAILED SITE GRADING PLAN: SOUTH
C160	SITE UTILITY PLAN
C161	SEPTIC DESIGN
C500	GENERAL NOTES AND DETAILS
CL100	SITE LANDSCAPE PLAN
CP100	PAVING PLAN AND PROFILE: MERRIMANT WAY NW
CP101	PAVING PLAN AND PROFILE: ANDERSEN AVE NW
CP400	INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMANT WAY NW
CP401	INTERSECTION DETAIL: MERRIMANT WAY NW & ANDERSEN AVE NW
CP402	INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION

IT THEREOF RECORDED IN PLAT THE RECORDS OF THE JOHNSON COUNTY REGISTER'S OFFICE



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SITE GRADING PLAN AND SWPPP

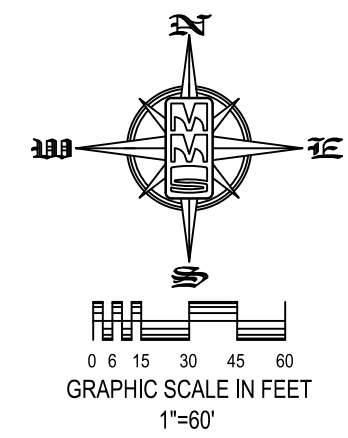
LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.
Date: 03-20-2024
Designed by: CAT/LSS Field Book No:
Drawn by: ADP Scale: 1"=60'
Checked by: CAT Sheet No:
Project No: C141
11801-001 OF SHEET

SITE PLAN
LOT 1, SWISHER 60 SUBDIVISION
JOHNSON COUNTY, IOWA

PLAN PREPARED BY: MMS CONSULTANTS INC. 2612 REC. LLC 1917 S. GILBERT STREET IOWA CITY, IOWA 52240
OWNER/APPLICANT: 2612 REC. LLC 1789 HAWTHORN LANE NE SOLON, IOWA 52333
APPLICANT'S ATTORNEY: LESLIE L. MOORE 320 KIRKWOOD AVE IOWA CITY, IOWA 52240



EROSION CONTROL LEGEND

- SILT FENCE/FILTER SOCK
- EROSION CONTROL MATTING IN ALL AREAS OF STORM BASIN/BIO CELL THAT ARE 4:1 SLOPES AND SPILLWAYS
- TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
- TEMPORARY PARKING AND STORAGE
- CONCRETE TRUCK/EQUIPMENT WASHOUT
- PORTABLE RESTROOM. EPA and Iowa DNR both recommend that the unit and area are maintained clean and that the units are regularly emptied.
- DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- FILTER SOCK INLET PROTECTION
- FILTER SOCK BEHIND CURB AT CURB RAMP
- PERIMETER SILT FENCE
- TEMPORARY SOIL STOCKPILE AREA
- DIRECTION OF OVERLAND FLOW
- DUMPSTER FOR CONSTRUCTION WASTE. Provide a covered dumpster which is recommended by the City of Iowa City and EPA for construction storm water pollution prevention. See Page 30 of the EPA's Developing Your Storm Water Pollution Prevention Plan, A Guide for Construction Sites, EPA-833-R-06-004, May 2007.
- RIP RAP OUTLET PROTECTION
- OTHER MEASURE: _____
- OTHER MEASURE: _____
- OTHER MEASURE: _____

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 17.26 ACRES
TOTAL AREA TO BE DISTURBED: 17.26 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE COUNTY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTERSECTION ADJACENT TO THE SITE.

EROSION CONTROL MEASURES, INCLUDING, BUT NOT LIMITED TO, TEMPORARY ROCK CONSTRUCTION ENTRANCE, CONCRETE WASHOUT, TEMPORARY PARKING AREA, AND STORAGE AREAS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9040 SUDAS STANDARD SPECIFICATIONS.

DUE TO PHASED CONSTRUCTION OF DRIVE AND BUILDING, EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED BASED ON THE PHASE AND EXTENTS OF LAND DISTURBANCE. CONTRACTOR SHALL COORDINATE WITH COUNTY INSPECTORS TO ENSURE THAT NO MATERIAL LEAVES THE SITE, AND THAT ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH JOHNSON COUNTY ENVIRONMENTAL REGULATIONS.

SILT FENCE DETAIL
N.T.S.

INSTALLATION

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST.
- WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

MAINTENANCE

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT PRODUING RUN-OFF. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C161 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE: MERRIMM WAY NW
- CP101 PAVING PLAN AND PROFILE: ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMM WAY NW
- CP401 INTERSECTION DETAIL: MERRIMM WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.02 SEED MIXTURES AND SEEDING DATES. TABLE 9010.06: TYPE 4 SEED MIXTURE

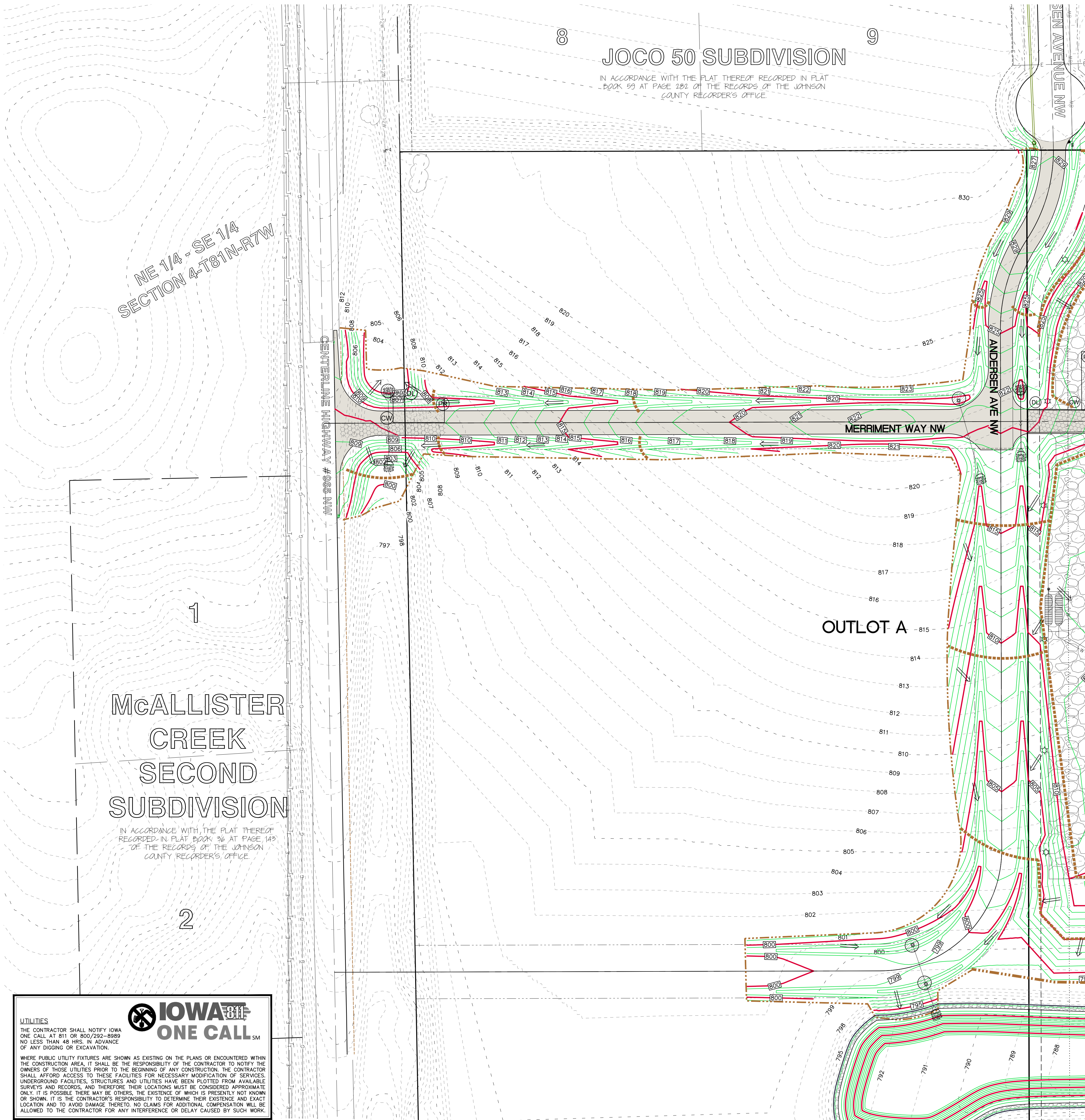
COMMON NAME	APPLICATION RATE lb/acre
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAIN RYE	65

*ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.
FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- DEODIOUS TREE
- SHRUBS
- EVERGREEN TREE
- FENCE LINE
- PROPOSED GEOTHERMAL LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRIC LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



IOWA ONE CALL
SM

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8999 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

UTILITIES
 THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
 WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.
 THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

GRADING LEGEND

- 000.00EX = EXISTING SURFACE
- 000.00FG = FINISH GRADE
- 000.00TS = TOP SLAB
- 000.00TW = TOP WALK
- 000.00TC = TOP CURB
- 000.00TR = TOP RIM
- 000.00WT = FG AT TOP WALL
- 000.00WB = FG AT BOTTOM WALL

SITE PLAN

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
 MMS CONSULTANTS INC.
 1917 S. GILBERT STREET
 IOWA CITY, IOWA 52240

OWNER/APPLICANT:
 2612 REC. LLC
 1769 HAWTHORN LANE NE
 SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
 LESLIE L. MOORE
 320 KIRKWOOD AVE
 IOWA CITY, IOWA 52240

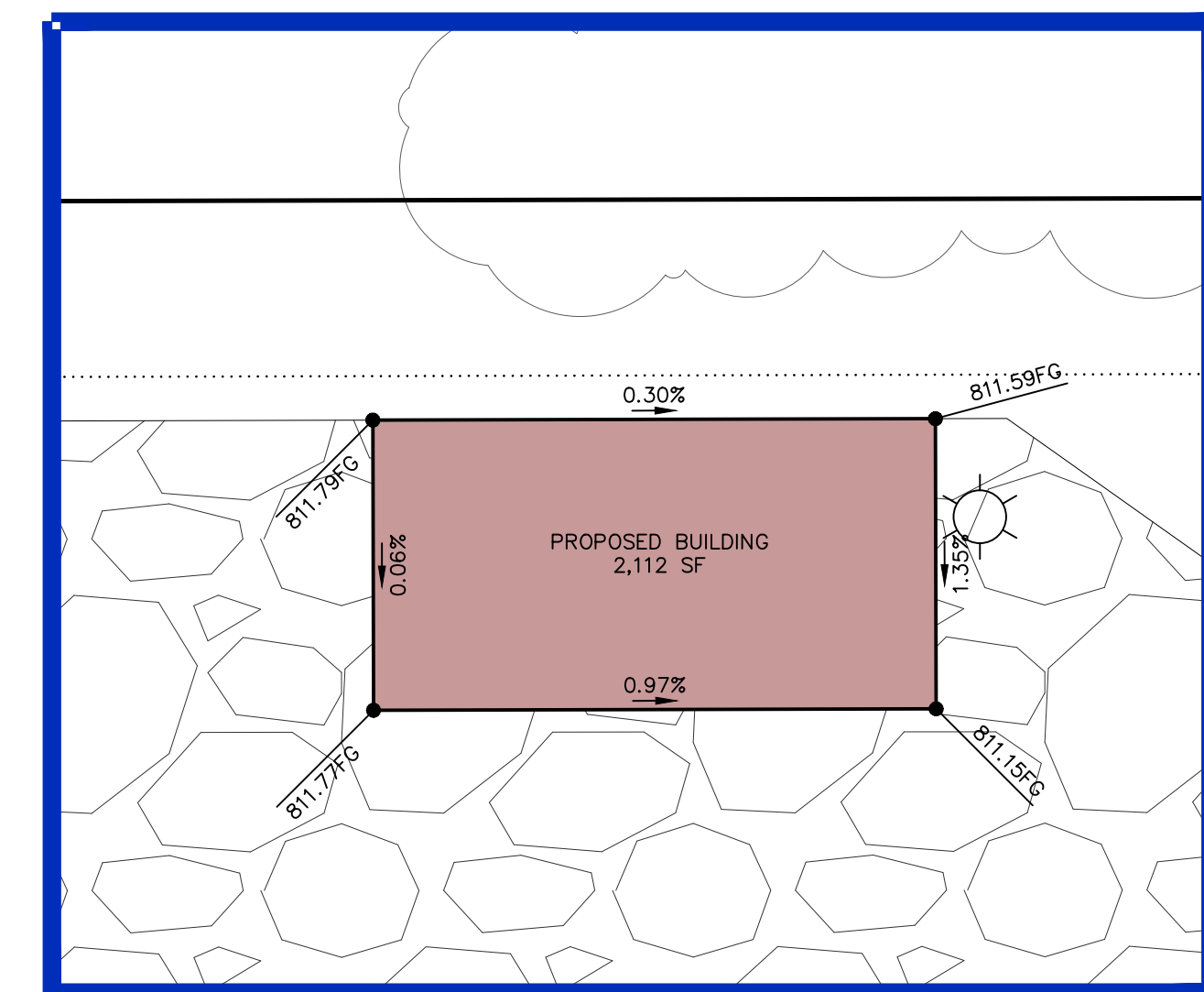
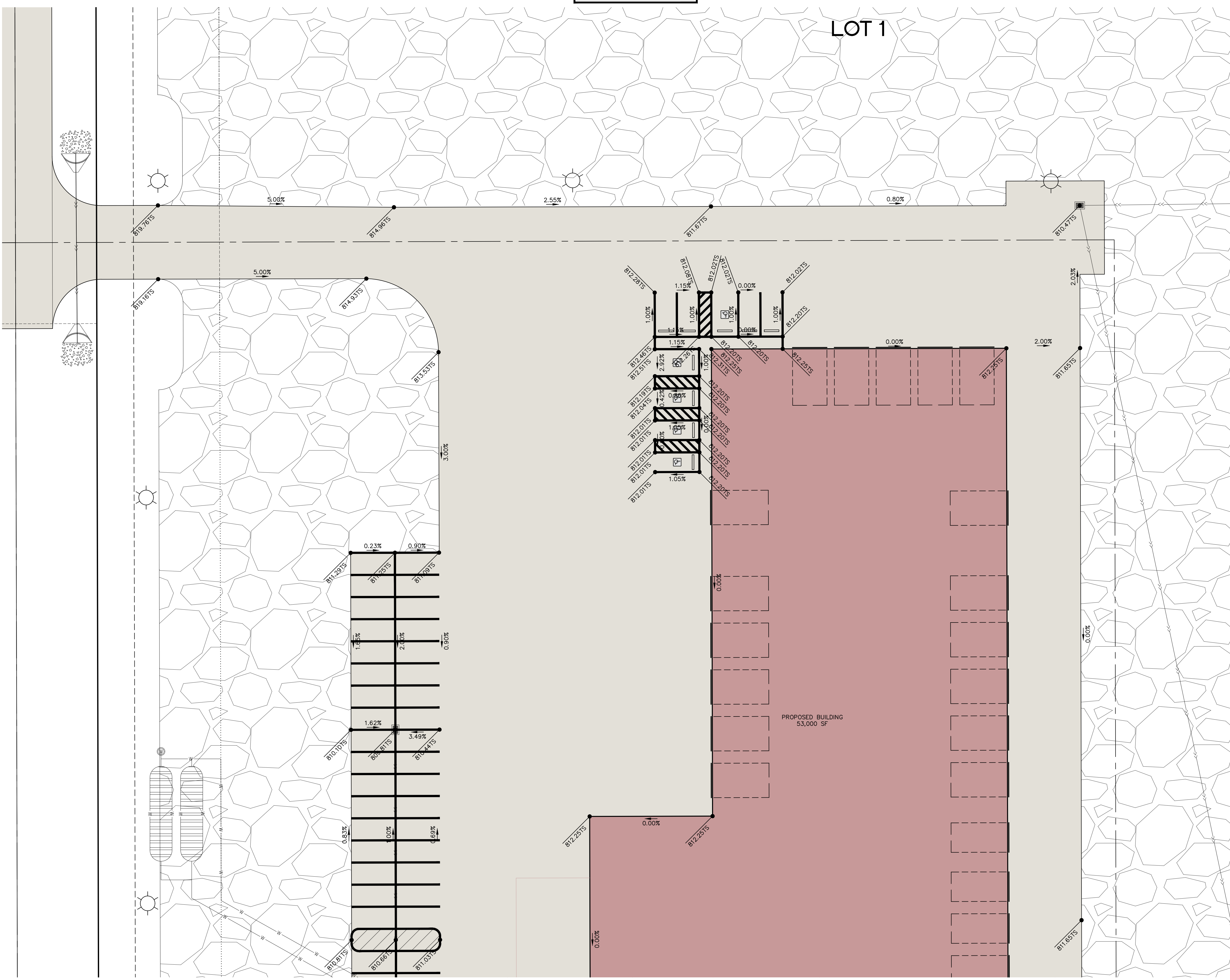
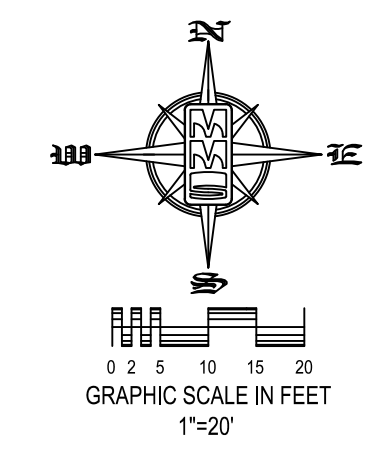


CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-8282
www.mmsconsultants.net

SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE:
 MERRIMENT WAY NW
 ANDERSEN AVE NW
- CP101 PAVING PLAN AND PROFILE:
 ANDERSEN AVE NW
 NW & MERRIMENT WAY NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965
 NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT
 WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE
 NW CONNECTION



DETAILED SITE GRADING PLAN: NORTH HALF

STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	EXISTING
---	PROPOSED
---	POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	DECIDUOUS TREE
---	SHRUBS
---	EVERGREEN TREE
---	FENCE LINE
---	PROPOSED GEOTHERMAL LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY
 IOWA

MMS CONSULTANTS, INC.

Date: 03-20-2024
 Designed by: CAT/LSS
 Drawn by: ADP
 Checked by: CAT
 Project No: 11801-001

Field Book No:
 Scale: 1"=20'
 Sheet No: C142
 OF SHEET

SITE PLAN LOT 1, SWISHER 60 SUBDIVISION JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

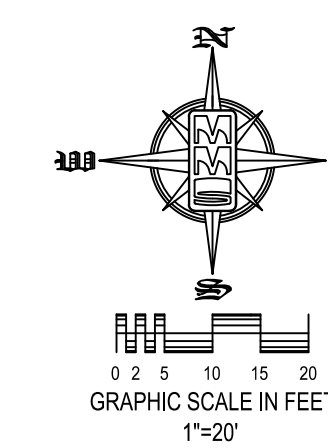
OWNER/APPLICANT:
2812 REC, LLC
1769 HAWTHORN LANE NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
LESLIE L. MOORE
320 KIRKWOOD AVE
IOWA CITY, IOWA 52240

SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE:
MERRIMONT WAY NW
- CP101 PAVING PLAN AND PROFILE:
ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965
NW & MERRIMONT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMONT
WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE
NW CONNECTION

GRADING LEGEND	
● 000.00EX	= EXISTING SURFACE
● 000.00FG	= FINISH GRADE
● 000.00TS	= TOP SLAB
● 000.00TW	= TOP WALK
● 000.00TC	= TOP CURB
● 000.00TR	= TOP RIM
● 000.00WT	= FG AT TOP WALL
● 000.00WB	= FG AT BOTTOM WALL



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STANDARD LEGEND AND NOTES	
---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	EXIST- Z2-1
---	PROP- Z2-1
---	POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	DECIDUOUS TREE
---	SHRUBS
---	EVERGREEN TREE
---	FENCE LINE
---	PROPOSED GEOTHERMAL LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

DETAILED SITE GRADING PLAN: SOUTH HALF

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.
Date: 03-20-2024
Designed by: CAT/LSS Field Book No:
Drawn by: ADP Scale: 1"=20'
Checked by: CAT Sheet No:
Project No: 11801-001
C143
OF SHEET

SITE PLAN LOT 1, SWISHER 60 SUBDIVISION JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

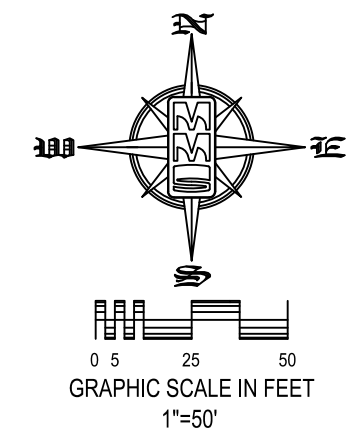
OWNER/APPLICANT:
2612 REC. LLC
1769 HAWTHORN LANE NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
LESLIE L. MOORE
320 KIRKWOOD AVE
IOWA CITY, IOWA 52240



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

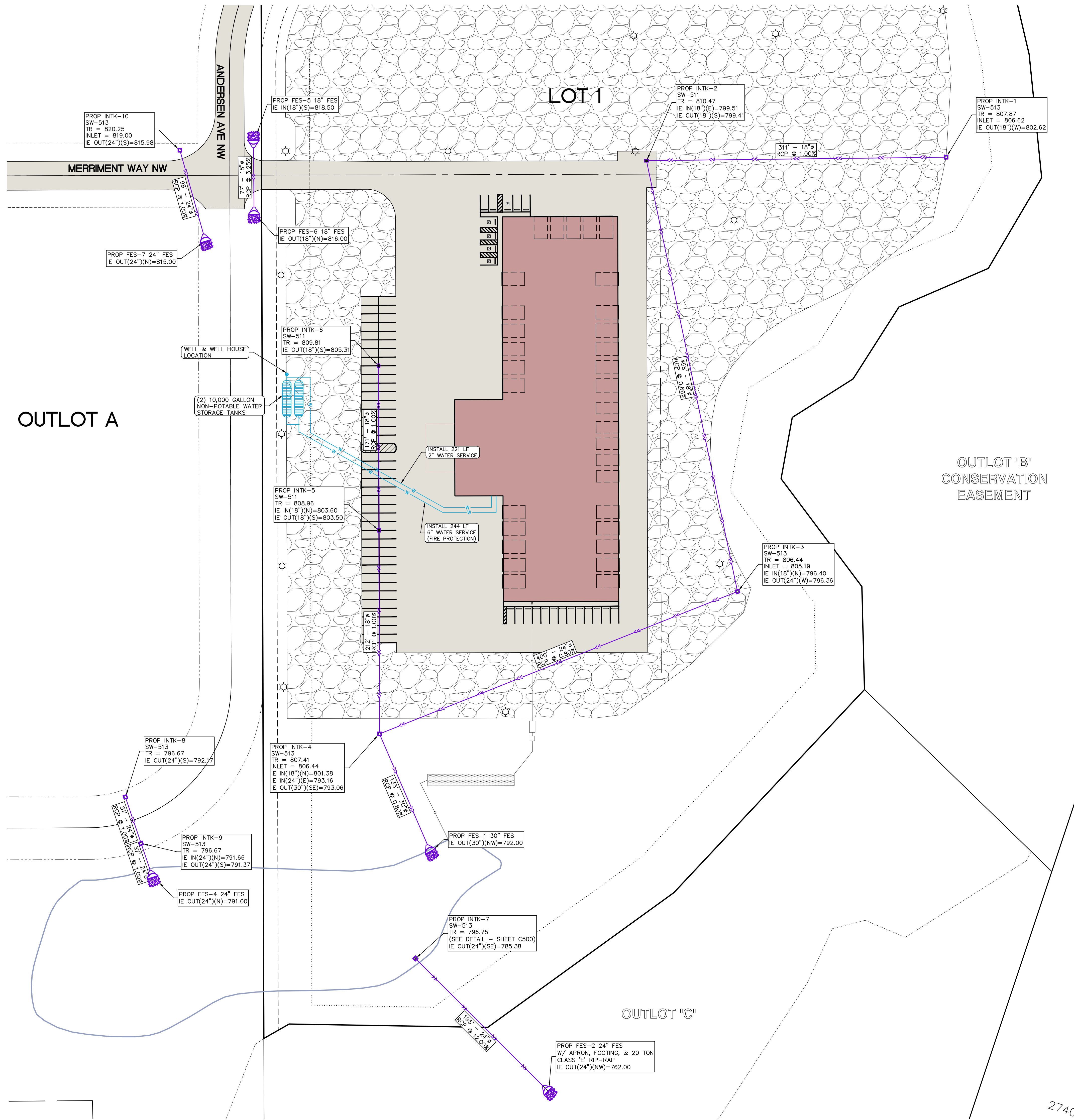
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net



SHEET INDEX

C120	SITE LAYOUT & DIMENSION PLAN
C121	DETAILED SITE DIMENSION PLAN
C140	SITE GRADING PLAN AND SWPPP
C141	DETAILED SITE GRADING PLAN: NORTH
C142	DETAILED SITE GRADING PLAN: SOUTH
C160	SITE UTILITY PLAN
C161	SEPTIC DESIGN
C500	GENERAL NOTES AND DETAILS
CL100	SITE LANDSCAPE PLAN
CP100	PAVING PLAN AND PROFILE: MERRIMENT WAY NW
CP101	PAVING PLAN AND PROFILE: ANDERSEN AVE NW
CP400	INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMENT WAY NW
CP401	INTERSECTION DETAIL: MERRIMENT WAY NW & ANDERSEN AVE NW
CP402	INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION

Date	Revision



SITE UTILITY PLAN

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 03-20-2024

Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=50'

Checked by: CAT Sheet No:

Project No: 11801-001

C160

OF SHEET

STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	PROPOSED POWER POLE
---	EXISTING POWER POLE W/DROP
---	EXISTING POWER POLE W/TRANS
---	EXISTING POWER POLE W/LIGHT
---	EXISTING GUY POLE
---	EXISTING LIGHT POLE
---	EXISTING SANITARY MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER VALVE
---	EXISTING DRAINAGE MANHOLE
---	EXISTING CURB INLET
---	EXISTING DECIDUOUS TREE
---	EXISTING SHRUBS
---	EXISTING EVERGREEN TREE
---	EXISTING FENCE LINE
---	PROPOSED GEOTHERMAL LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING WATER LINES
---	PROPOSED WATER LINES
---	EXISTING ELECTRICAL LINES
---	PROPOSED ELECTRICAL LINES
---	EXISTING TELEPHONE LINES
---	PROPOSED TELEPHONE LINES
---	EXISTING GAS LINES
---	PROPOSED GAS LINES
---	EXISTING CONTOUR LINES (INTERVAL)
---	PROPOSED CONTOUR LINES
---	EXISTING TREE LINE

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL

2740



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

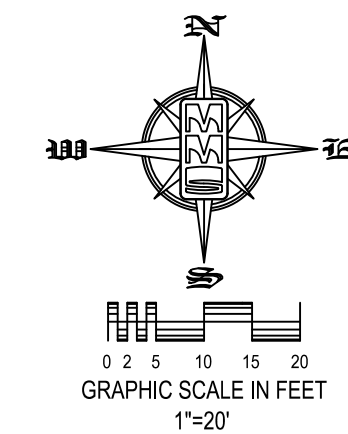
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SEPTIC DESIGN

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY, IOWA



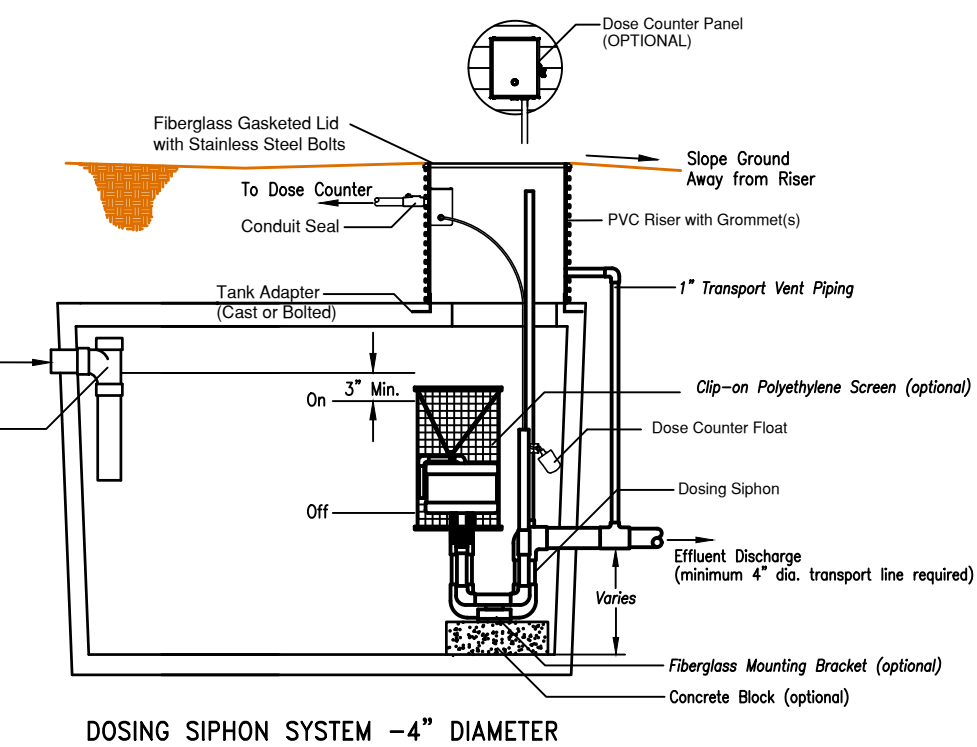
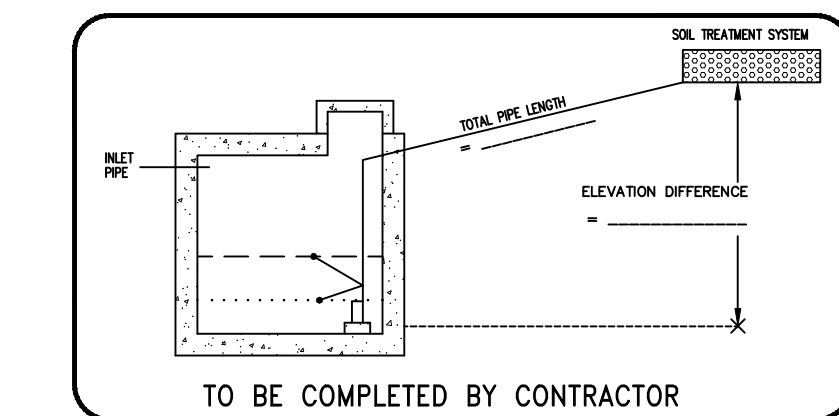
PLAN PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IOWA 52240
OWNER/APPLICANT: 2612 REC, LLC 320 HIRKWOOD AVE SOLON, IOWA 52333
APPLICANT'S ATTORNEY: LESLIE D. MOORE 1750 HAYTHORN LANE NE IOWA CITY, IOWA 52240

TABLE 1: PRESSURE DISTRIBUTION FOR SAND FILTER SYSTEM

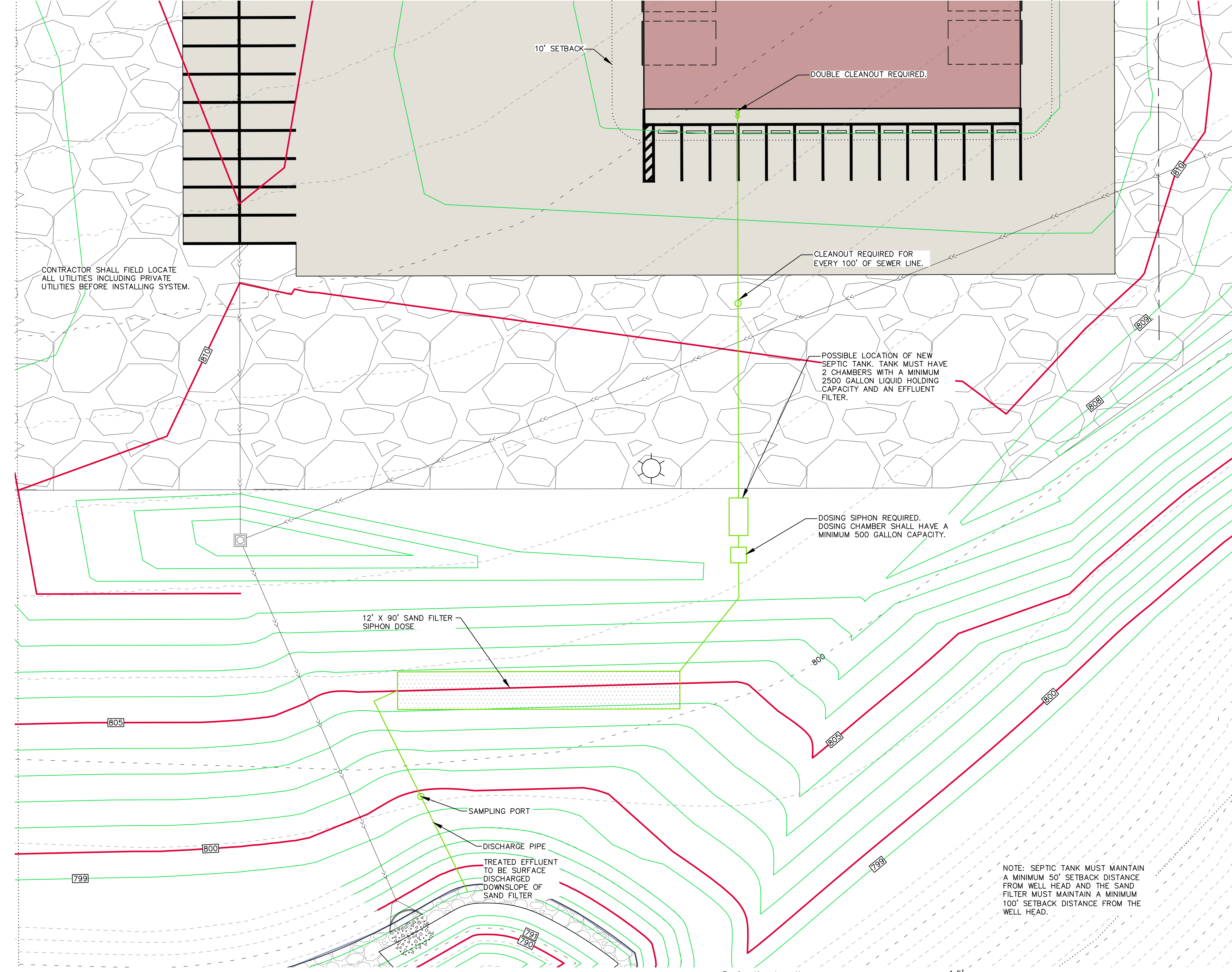
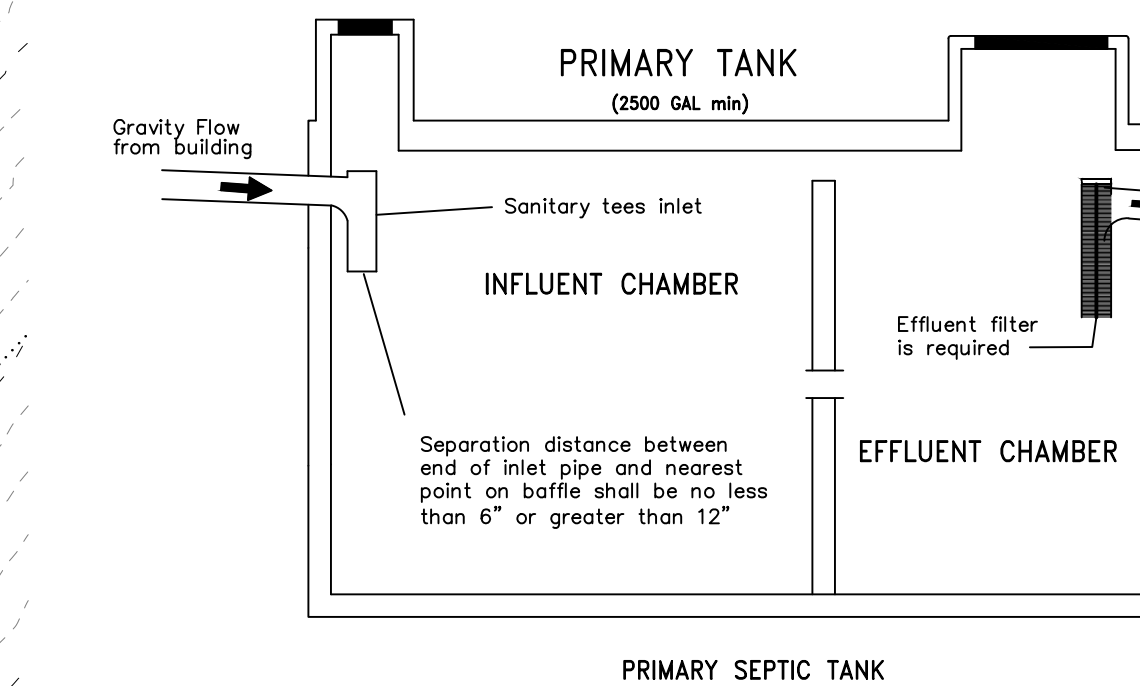
I. Calculations		Siphon Dosed
Number of Employees/day		60
Flow rate per Employee (GPD)		18
Sizing Rate		1
Total Flow Rate (GPD)		1,080
Area of Sand Filter (sf)		1,080
II. Pressure Distribution Values		Siphon Dose
Bed Width (ft)		12
Bed Length (ft)		90
Lateral Length (ft)		88
Lateral Diameter (in)		2
No. of Laterals		4
Hole Spacing (ft)		3
No. of Holes/lateral		30
Hole Diameter (in)		3/16
Discharge Rate (gpm/hole)		0.71
Lateral Discharge (gpm/lateral)		21.3
Manifold Length (ft)		10.5
Manifold Diameter (in)		4
Supply Line Length (ft)		57
Supply Line Diameter		4
Volume of Distribution System (gal)		68
Volume of Distribution System and Supply Line (gal)		106
No. of Siphons (ea)		1
Discharge Rate per pump (gpm)		85.2
Flow per Siphon/day		1080
Min. Dosing/day/bed (doses/day)		10
Dosing Vol. to sand filter (gal/dose)		108
Min Drop from Siphon Outlet to Sand Filter (ft)		3.5

SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE: MERRIMENT WAY NW
- CP101 PAVING PLAN AND PROFILE: ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION

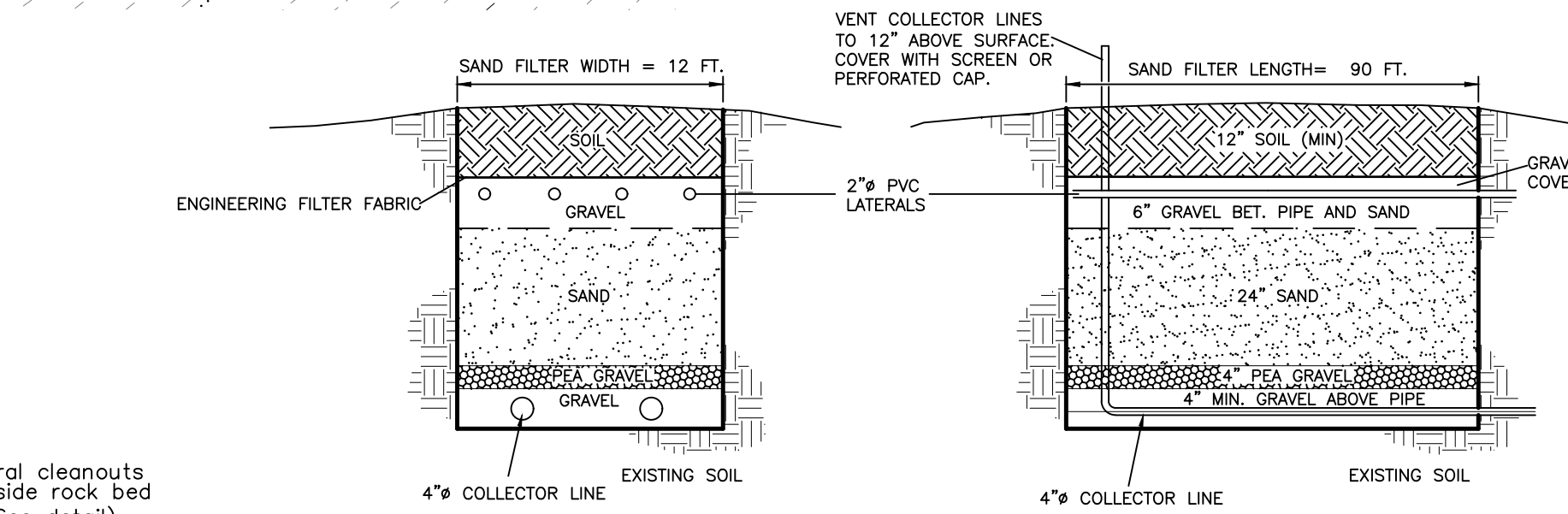
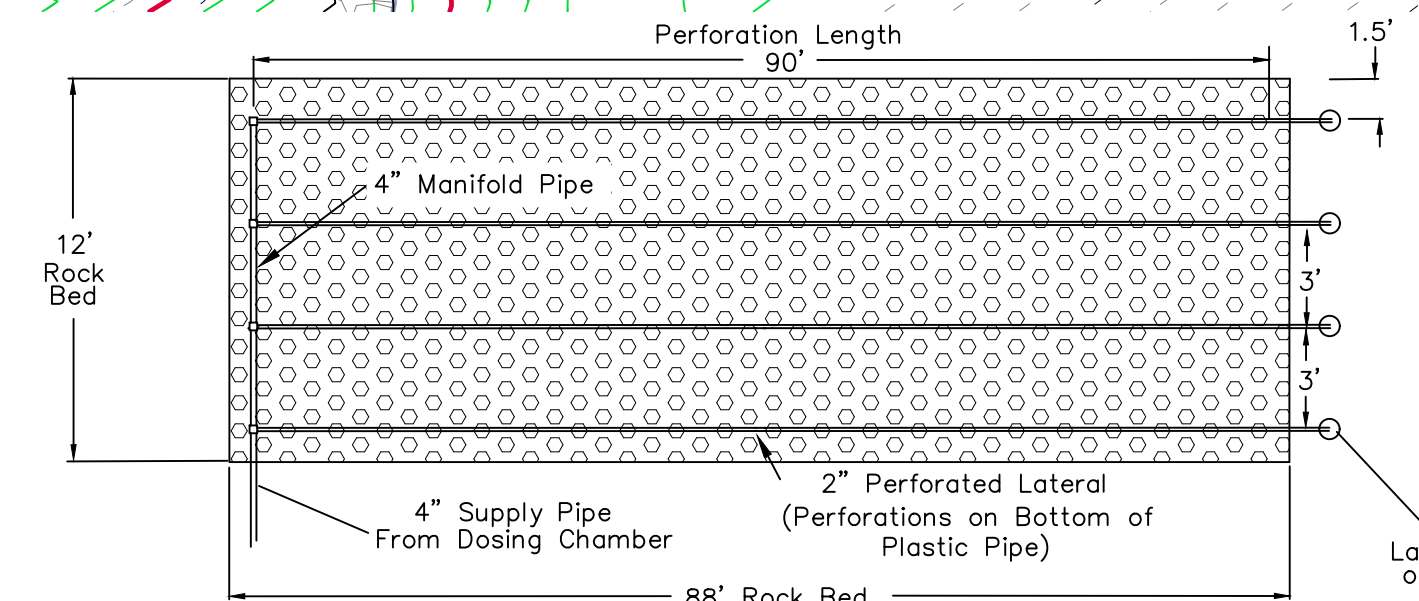


- III. Septic Tank
 - Minimum Primary Septic Tank Required: 2500 gallons
 - Dosing Tank: 500 gallons

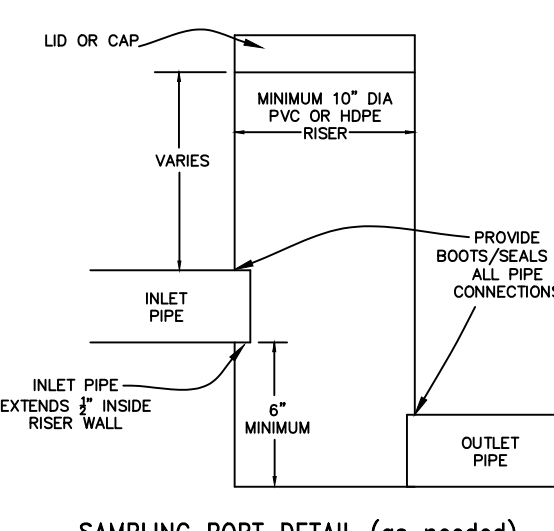
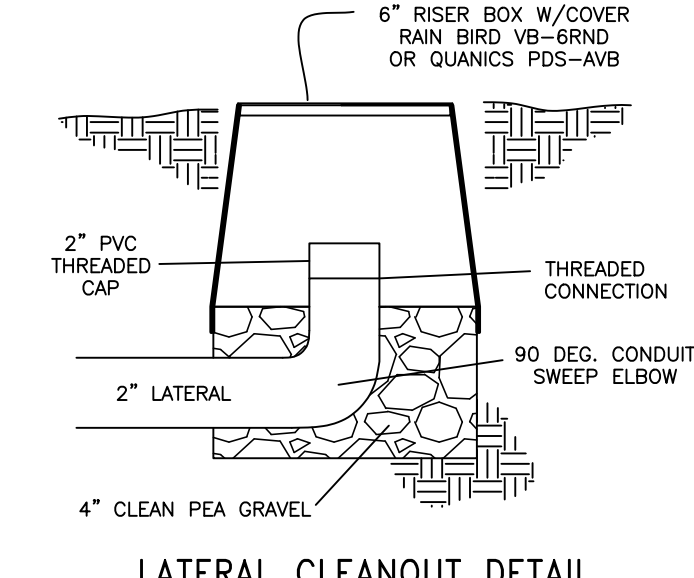
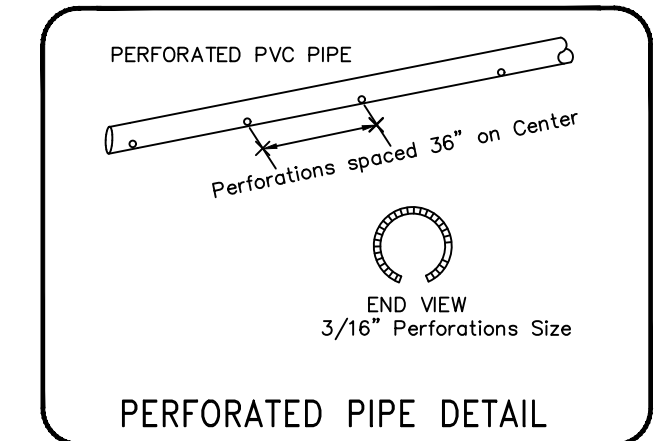
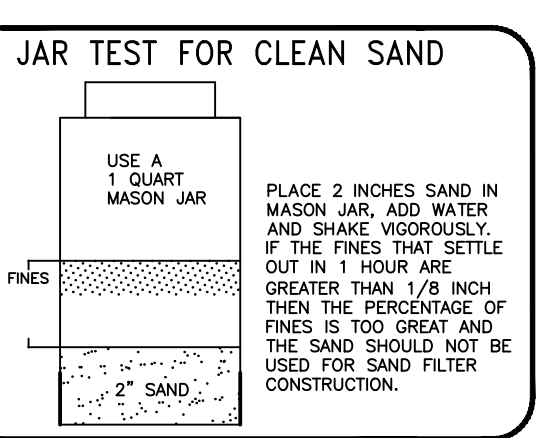
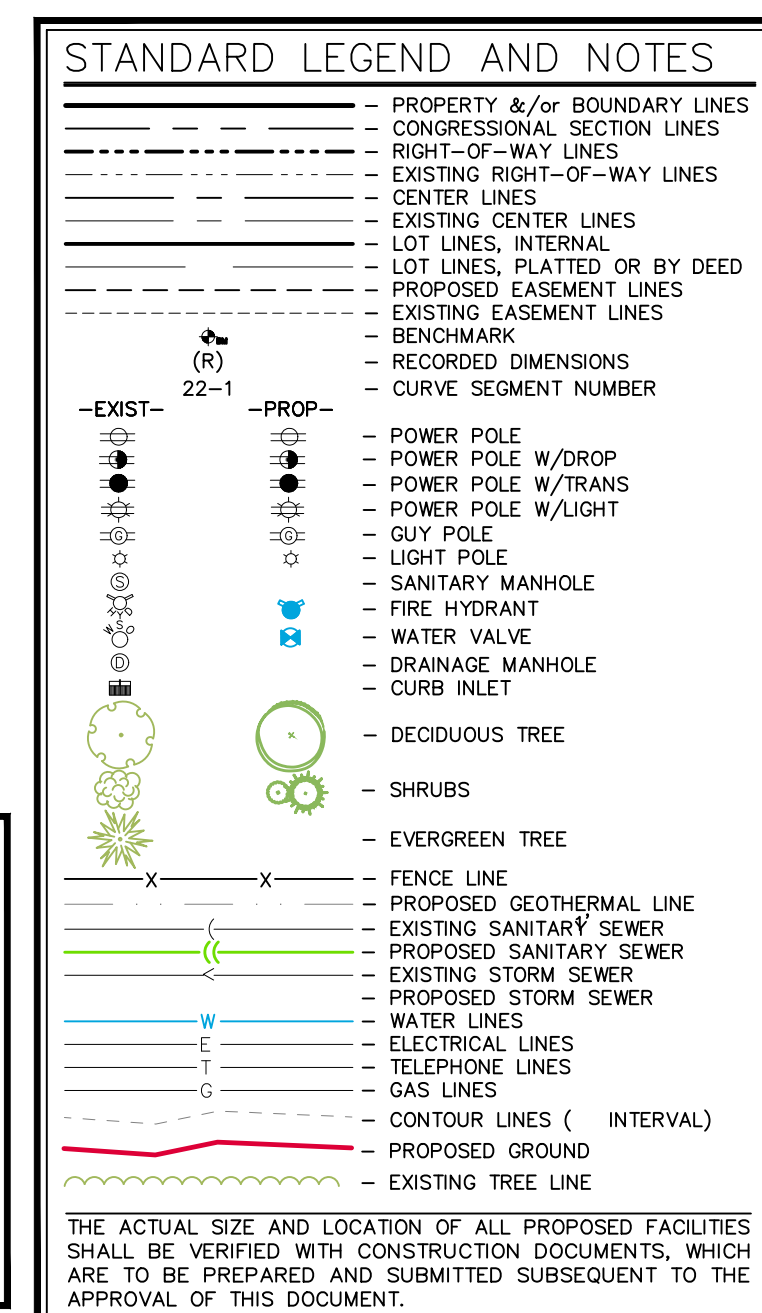


SEPTIC NOTES:

- SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH JOHNSON COUNTY PUBLIC HEALTH, "PRIVATE SEWAGE DISPOSAL SYSTEM REGULATIONS-2020", AND CHAPTER 69 OF THE IOWA ADMINISTRATIVE CODE.
- MMS CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS OR MATERIALS.
- DO NOT ALLOW ANYONE TO DRIVE OR PARK OVER ANY PART OF SYSTEM.
- SYSTEM MUST BE INSTALLED ACCORDING TO THE MINIMUM STANDARDS IN TABLE 1 ABOVE. ANY DESIGN MODIFICATIONS MUST BE SUBMITTED TO THE HEALTH DEPARTMENT DURING THE FINAL INSPECTION. FAILURE TO DO SO SHALL MAKE THIS DESIGN/FORM INVALID.
- A SHARP DRILL BIT SHALL BE USED TO DRILL THE LATERAL PERFORATIONS. REMOVE ALL BURRS AND FILLINGS FROM PIPE BEFORE ASSEMBLY. REPLACE DRILL BITS OFTEN. SHOP DRILLED PERFORATIONS ARE PREFERRED.
- PRIMARY SEPTIC TANK SHALL HAVE TWO CHAMBERS WITH A 2500 GAL. MINIMUM HOLDING CAPACITY.
- PRIMARY TANK SHALL BE FOLLOWED IN SERIES BY A DOSING TANK WITH A MINIMUM 500 GAL CAPACITY.
- PROVIDE WATERTIGHT RISERS AS NECESSARY TO EXTEND ACCESS TO THE GROUND SURFACE AS SHOWN ON EACH TANK.
- CLEANING ACCESS OPENING SHALL BE SECURED BY USING STAINLESS STEEL FASTENERS OF SUFFICIENT COMPLEXITY, LOCKING DEVICES, CONCRETE LIDS OF SUFFICIENT WEIGHT OR ANOTHER APPROVED DEVICE TO DETERR TAMPERING.
- SEPTIC TANK EFFLUENT FILTER REQUIRED TO HELP PROTECT DISTRIBUTION PIPING AND DRAINFIELD FROM HIGH SOLIDS BUILD UP. USE BIOMICROBICS SANITEE OR EQUIVALENT.
- THE VERTICAL ELEVATION SEPARATION BETWEEN THE OUTLET OF THE DOSING SIPHON AND THE DISTRIBUTION MANIFOLD SHALL ADHERE TO MANUFACTURER'S SPECIFICATION, AND ELEVATION PROVIDED IN TABLE ONE, BUT IN NO CASE BE LESS THAN 24 INCHES.



SAND FILTER SHALL BE PLACED ON A CONVEX SLOPE AND THE SURFACE WATER SHALL BE DIVERTED AWAY FROM THE SYSTEM.



IOWA ONE CALL

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SEPTIC DESIGN

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 03-20-2024

Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=20'

Checked by: CAT Sheet No:

Project No: 11801-001 OF SHEET



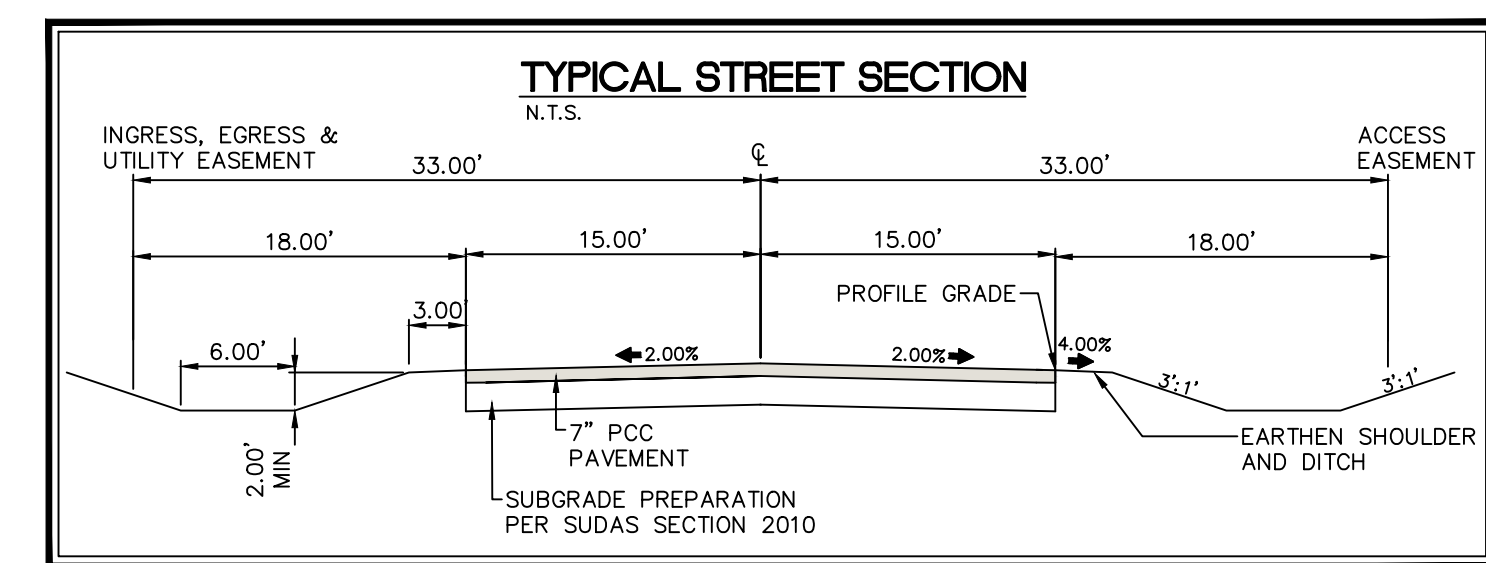
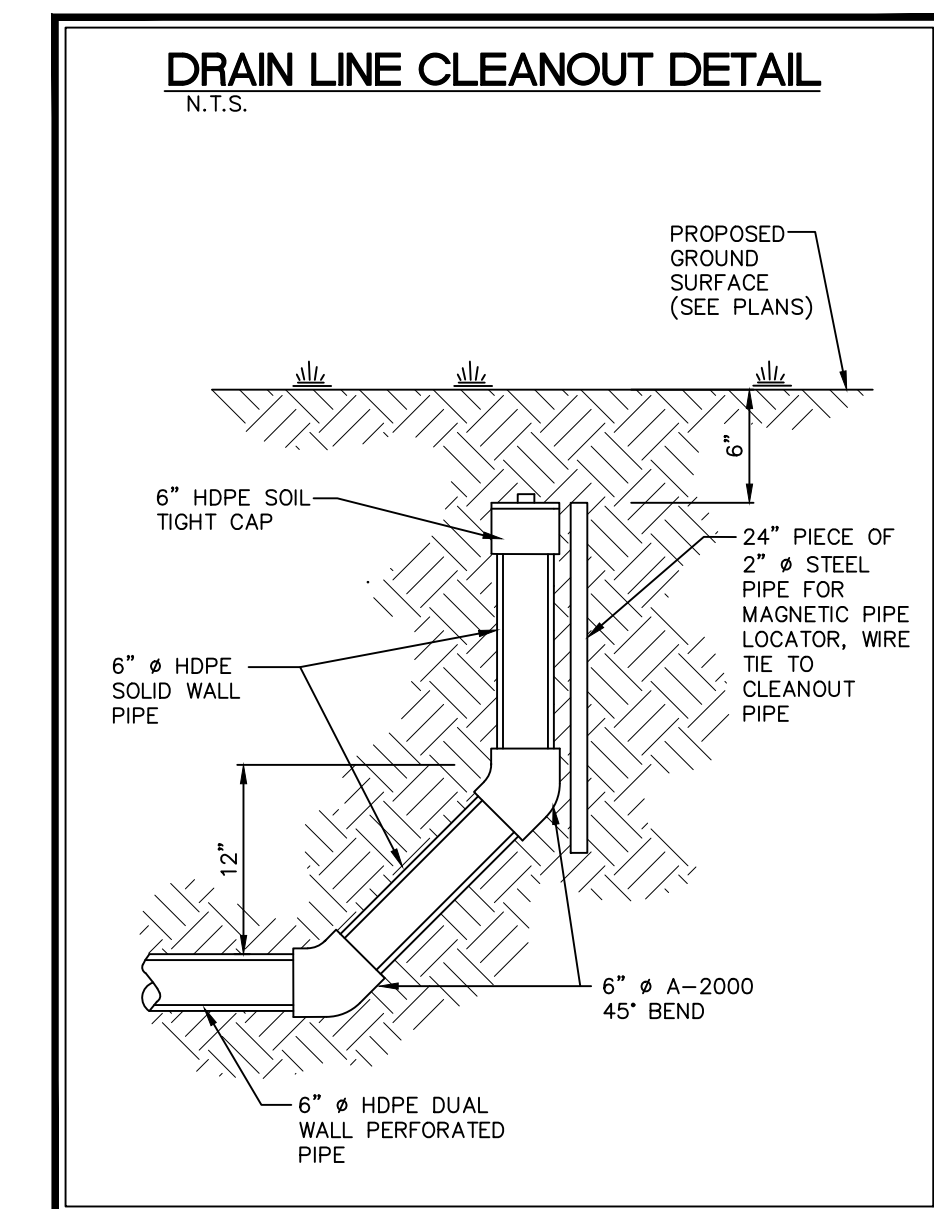
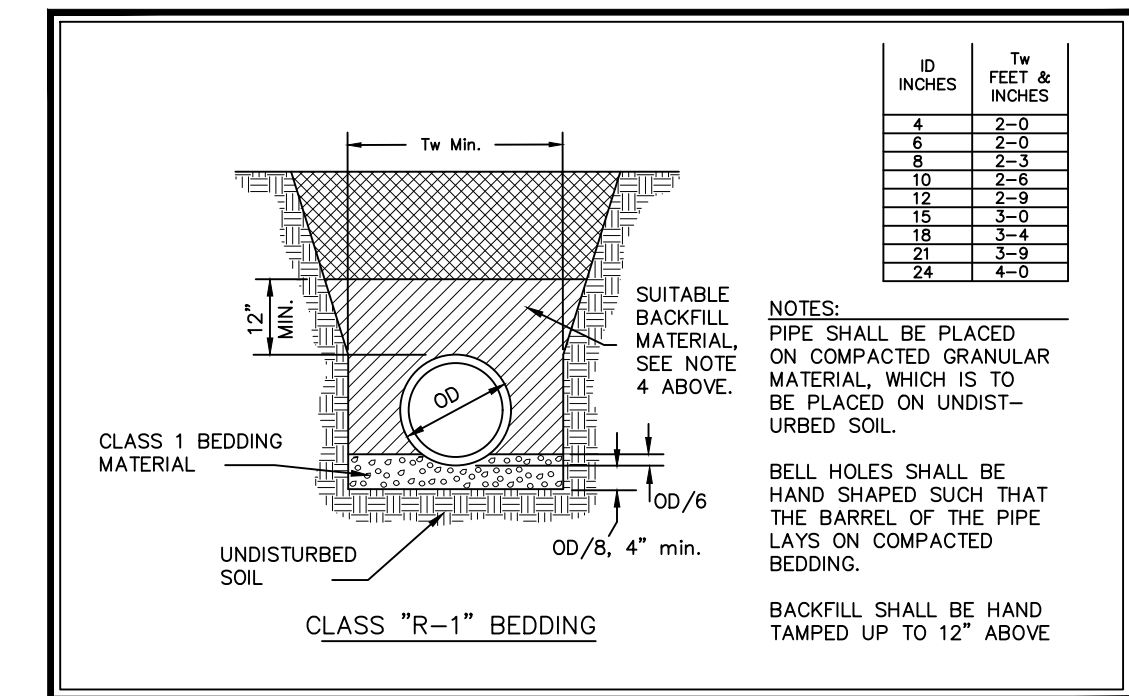
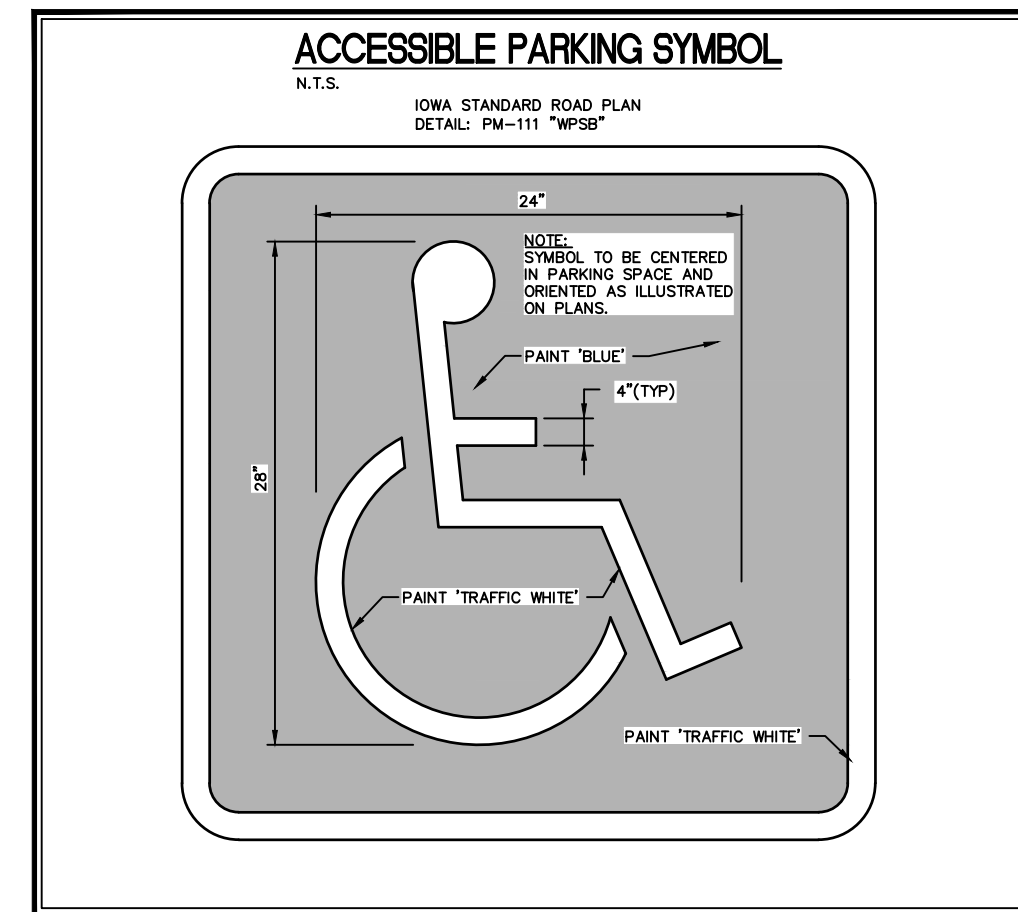
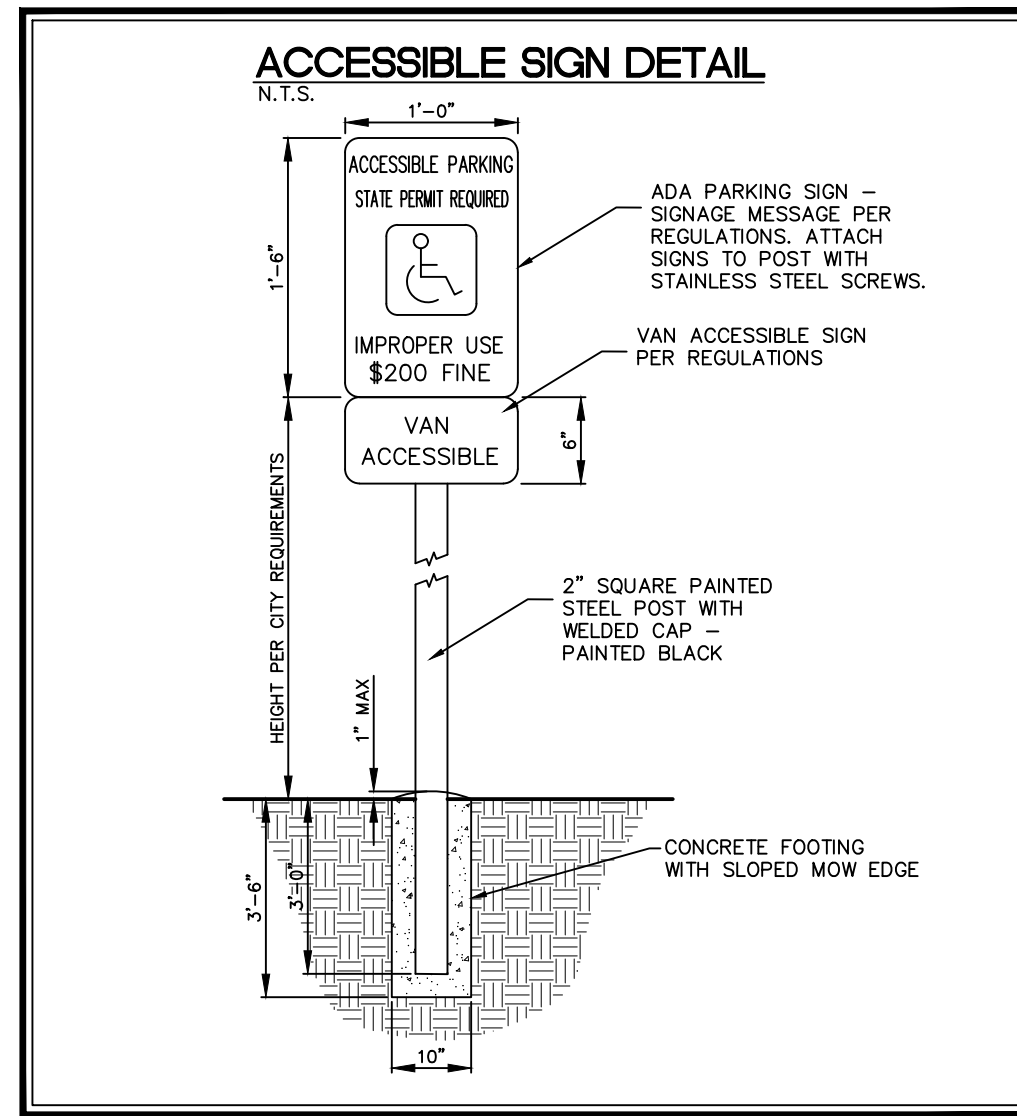
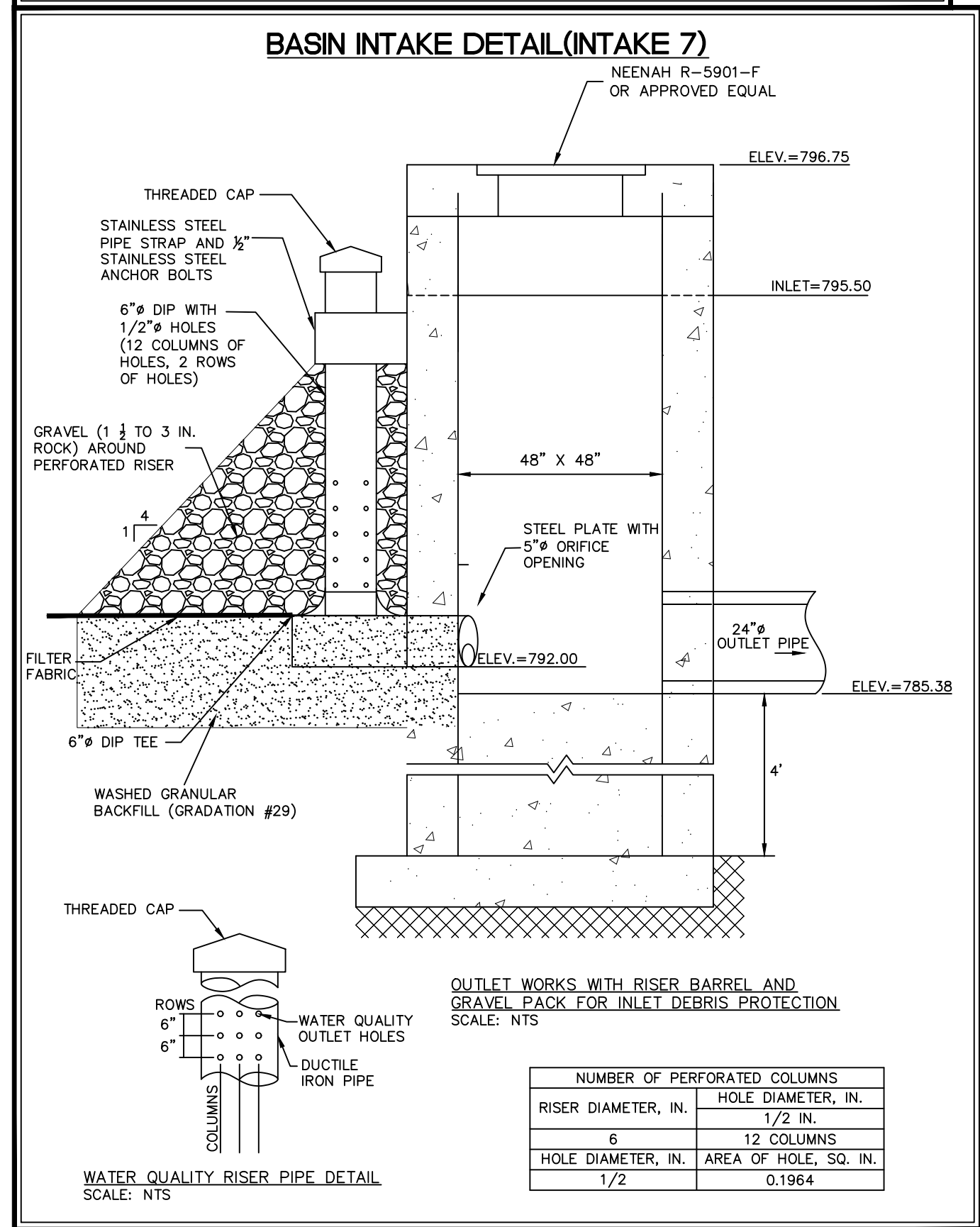
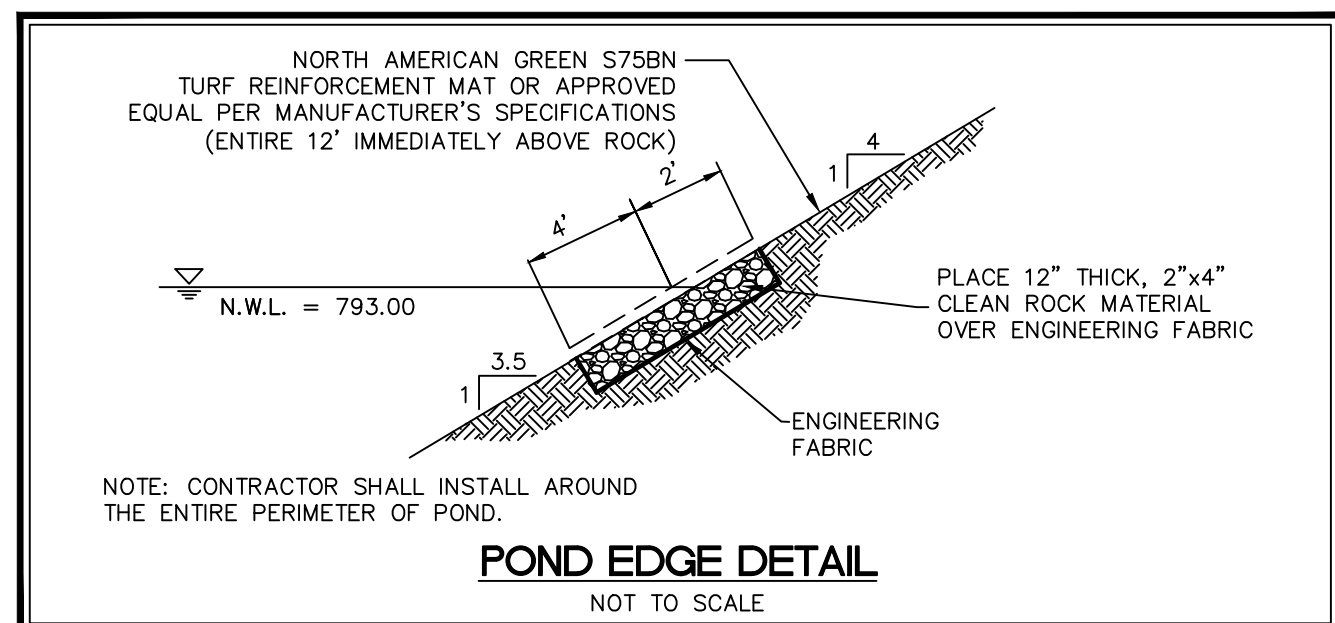
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE: MERRIMENT WAY NW
- CP101 PAVING PLAN AND PROFILE: ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION



- STORM SEWER CONSTRUCTION NOTES**
- 1) ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT BY MMS CONSULTANTS, INC., AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL. CONSTRUCTION SHALL ALSO CONFORM TO THE CURRENT JOHNSON COUNTY DESIGN STANDARDS, WHICH SHALL SUPERSEDE PLANS AND DETAILS PROVIDED BY MMS CONSULTANTS.
 - 2) ALL STORM SEWER INTAKE AND MANHOLE LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST INTO THE LID.
 - 3) ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 4020, WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE TONGUE AND GROOVE JOINTS INCORPORATING RUBBER "O"-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443.
 - 4) RCP PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.102 CLASS R-1. CLASS 1 BEDDING MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 3010.2.02. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01, PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05, D AND E. THE OWNER MAY ELECT TO TEST TRENCH COMPACTION AT THEIR OWN EXPENSE.
 - 5) SUB-SURFACE DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO SUDAS SPECIFICATION 4040 FOR BOTH PERFORATED TILE AND SOLID WALL PIPE.
 - 6) FOR SUB-SURFACE DRAINAGE IN TURF AREAS HDPE PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.103 CLASS F-3. BEDDING MATERIAL SHALL BE POROUS BACKFILL MATERIAL AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01 PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05 D AND E.
 - 7) AT LOCATIONS WHERE A FLARED END SECTION IS REQUIRED, THE PIPE LENGTHS SHALL BE MEASURED TO THE END OF THE FLARED END. THE FLARED END SECTION AND THE TWO UPSTREAM JOINTS ARE TO INCORPORATE TIED JOINTS.
 - 8) ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. NOTIFY ENGINEER OF ALL FIELD TILES ENCOUNTERED.
 - 9) CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STORM SEWER SYSTEM IMPROVEMENTS.

GENERAL NOTES AND DETAILS

LOT 1, SWISHER 60 SUBDIVISION

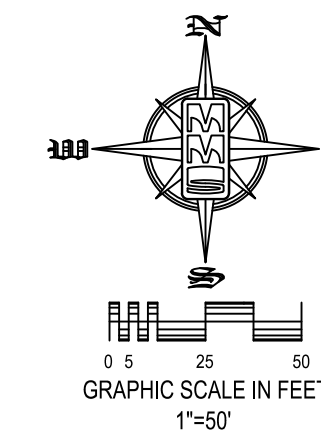
JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.
Date: 03-20-2024
Designed by: CAT/LSS Field Book No:
Drawn by: ADP Scale: 1"=30'
Checked by: CAT Sheet No:
Project No: C500
11801-001 OF SHEET



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net



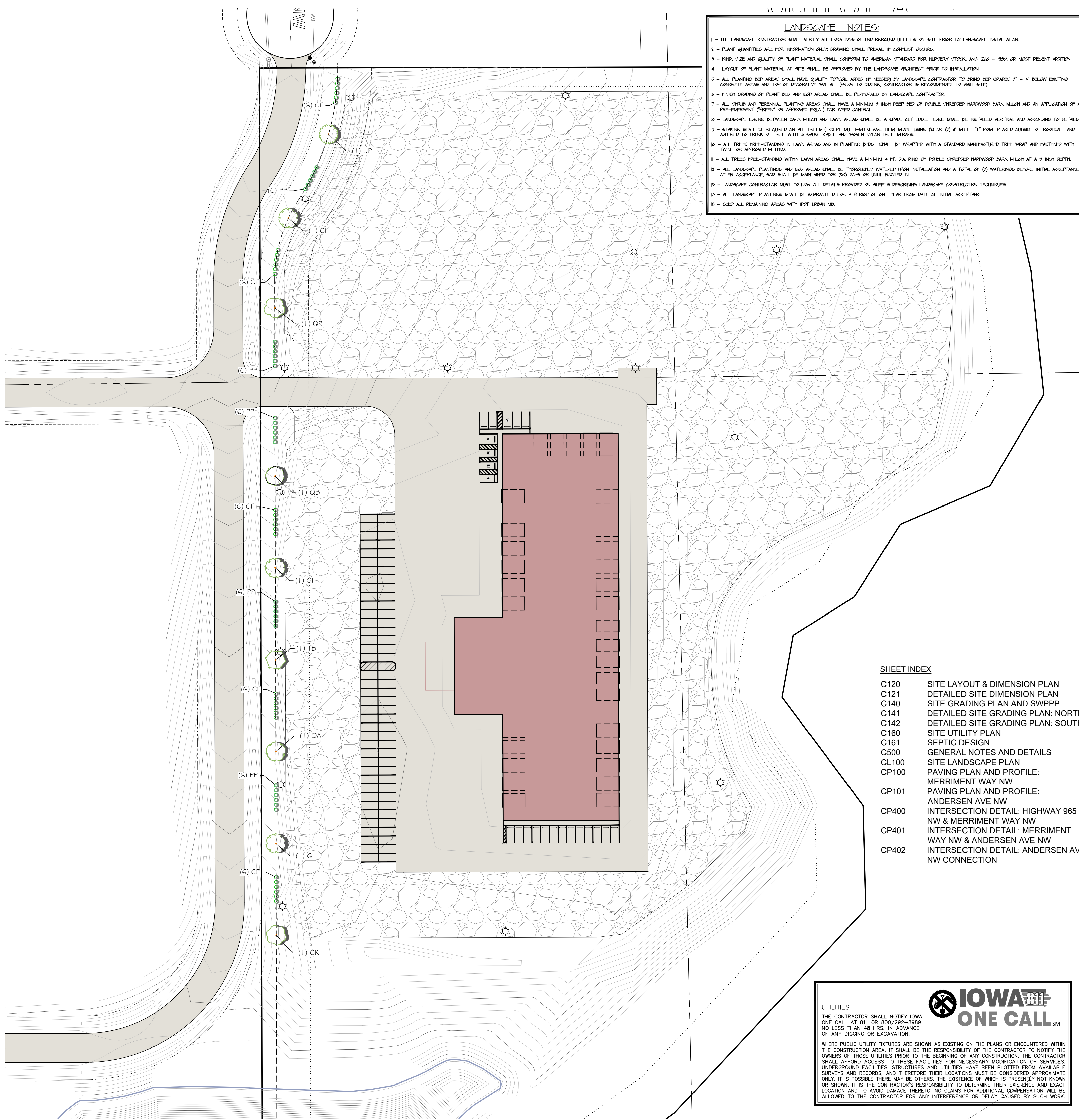
SITE PLAN LOT 1, SWISHER 60 SUBDIVISION JOHNSON COUNTY, IOWA

PLAN PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT:
2612 REC. LLC
1789 HAWTHORN LANE NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
LESLIE L. MOORE
320 KIRKWOOD AVE
IOWA CITY, IOWA 52240

- ### LANDSCAPE NOTES:
- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
 - 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
 - 3 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 1990, OR MOST RECENT ADDITION.
 - 4 - LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - 5 - ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 2" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. (PRIOR TO DIGGING, CONTRACTOR IS RECOMMENDED TO VISIT SITE)
 - 6 - FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
 - 7 - ALL SPRING AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 9 INCH DEEP BED OF DOUBLE SHREDED HARDWOOD BARK MULCH AND AN APPLICATION OF A FERTILIZER (PRESENT OR APPROVED SIGNAL) FOR WEED CONTROL.
 - 8 - LANDSCAPE EDGING BETWEEN BARK MULCH AND LAWN AREAS SHALL BE A SPADE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS.
 - 9 - STAKING SHALL BE REQUIRED ON ALL TREES EXCEPT MULTI-STEM VARIETIES STAKE USING (3) OR (5) 1/4" STEEL "T" POST PLACED OUTSIDE OF ROOTBALL AND ATTACHED TO TRUNK OF TREE WITH 16 GAUGE GALVE AND WOVEN NYLON TREE STRAPS.
 - 10 - ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.
 - 11 - ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4 FT. DIA. RING OF DOUBLE SHREDED HARDWOOD BARK MULCH AT A 9 INCH DEPTH.
 - 12 - ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (5) WATERINGS BEFORE INITIAL ACCEPTANCE AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (90) DAYS OR UNTIL ROOTED IN.
 - 13 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.
 - 14 - ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
 - 15 - SEED ALL REMAINING AREAS WITH DOT URBAN MIX.



LANDSCAPE REQUIREMENTS

WHERE OUTDOOR DISPLAY OF GOODS FOR SALE OR VISIBILITY OF THE BUSINESS TO THE TRAVELING PUBLIC ARE INTEGRAL TO THE USE, AT THE DISCRETION OF THE APPROVING AUTHORITY THE OVERSTORY REQUIREMENTS OF THIS SECTION MAY BE REDUCED OR WAIVED AND THE DENSITY REQUIREMENTS FOR UNDERSTORY MAY BE REDUCED BY 50% FOR AREAS THAT FRONT A PUBLIC OR PRIVATE ROAD.

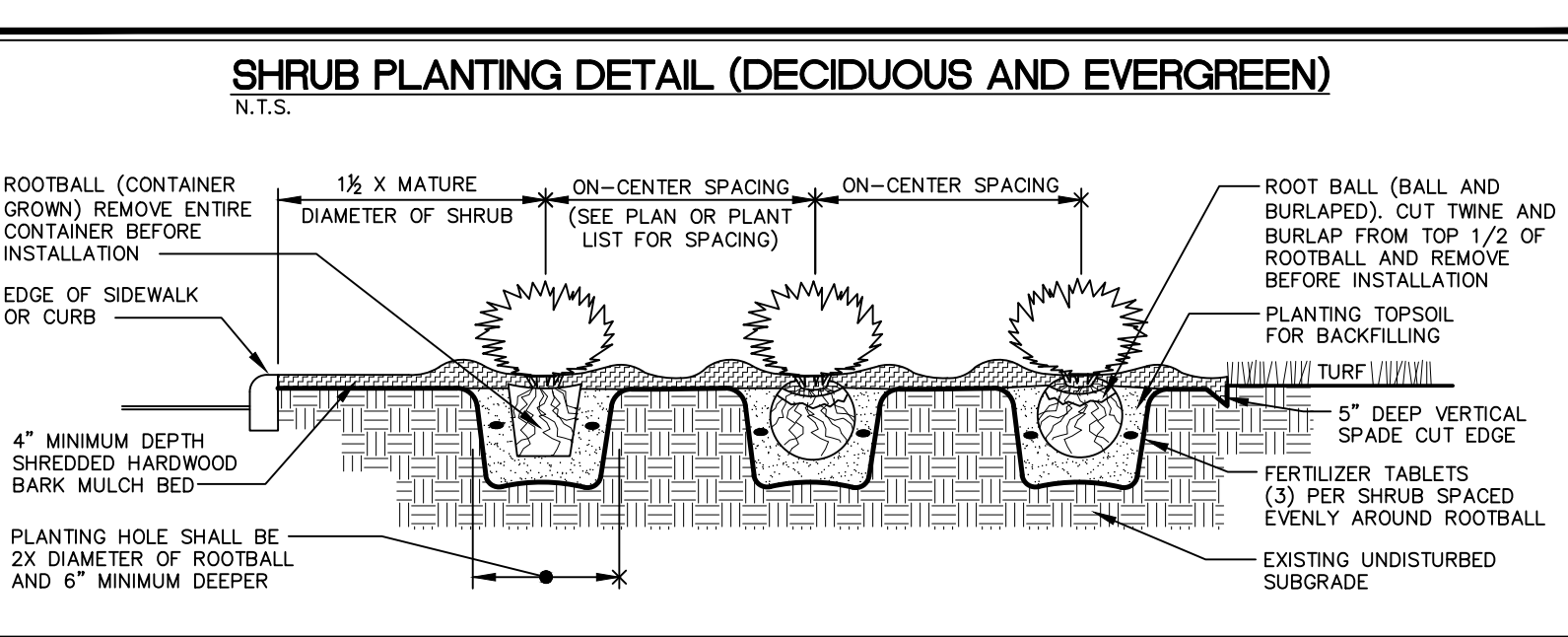
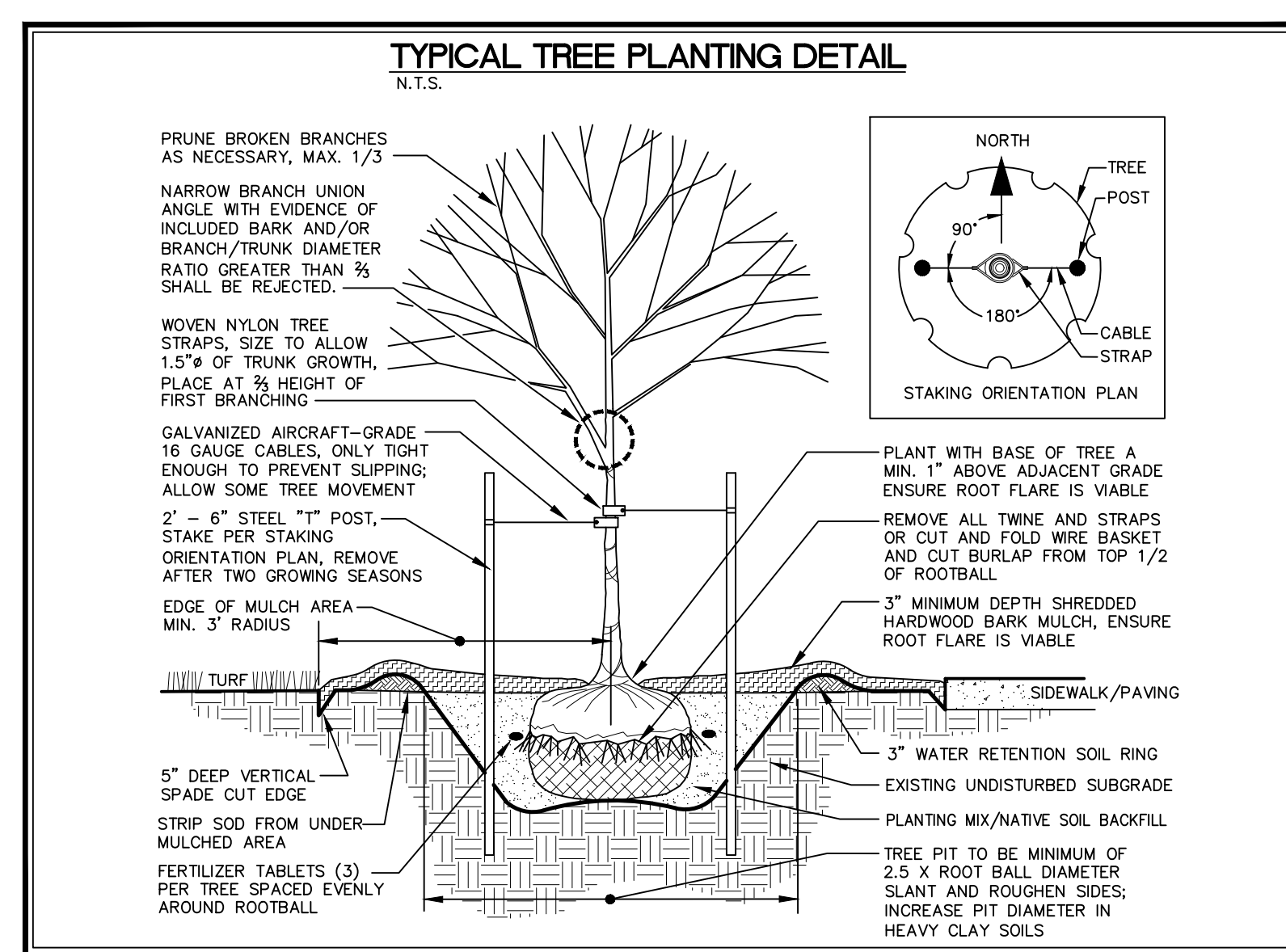
- VEGETATIVE OVERSTORY: 1 TREE EVERY 50' OF FRONTAGE.
 - 888 LF / 50 = 18 TREES REQUIRED
 -- 9 TREES PROVIDED (50% OF REQUIRED)
- VEGETATIVE UNDERSTORY: 66% SCREENING AT A HEIGHT OF 3' ABOVE GRADE.
 - 888 LF X 0.66 = 586.08 / 5 = 117 SHRUBS
 -- 60 SHRUBS PROVIDED (51% OF REQUIRED)

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE
TREES					
	GI	3	Gleditsia tracanthos inermis 'Skycole'	Skyline® Honey Locust	2" Cal.
	GK	1	Gymnocladus dioica	Kentucky Coffeetree	2" Cal.
	QA	1	Quercus alba	White Oak	2" Cal.
	QB	1	Quercus bicolor	Swamp White Oak	2" Cal.
	QR	1	Quercus rubra	Northern Red Oak	2" Cal.
	TB	1	Tilia americana 'Baillyard'	Frontyard® American Linden	2" Cal.
	UP	1	Ulmus x Morton Glossy'	Triumph™ Elm	2" Cal.
SHRUBS					
	CF	30	Comus sencea 'Farrow'	Arctic® Fire® Red Twig Dogwood	15" Ht.
	FP	30	Fanicum virgatum 'Praine Fire'	Praine Fire Switch Grass	15" Ht.

SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE: MERRIMENT WAY NW
- CP101 PAVING PLAN AND PROFILE: ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION



UTILITIES
 THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SITE LANDSCAPE PLAN

LOT 1, SWISHER 60 SUBDIVISION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.
 Date: 03-20-2024
 Designed by: CAT/LSS Field Book No:
 Drawn by: ADP Scale: 1"=50'
 Checked by: CAT Sheet No:
 Project No: CL100
 11801-001 OF SHEET

SITE DEVELOPMENT PLAN LOT 1, SWISHER 60 SUBDIVISION JOHNSON COUNTY, IOWA

PLAN PREPARED BY: MMS CONSULTANTS INC.
 1917 S. GILBERT STREET
 IOWA CITY, IOWA 52240

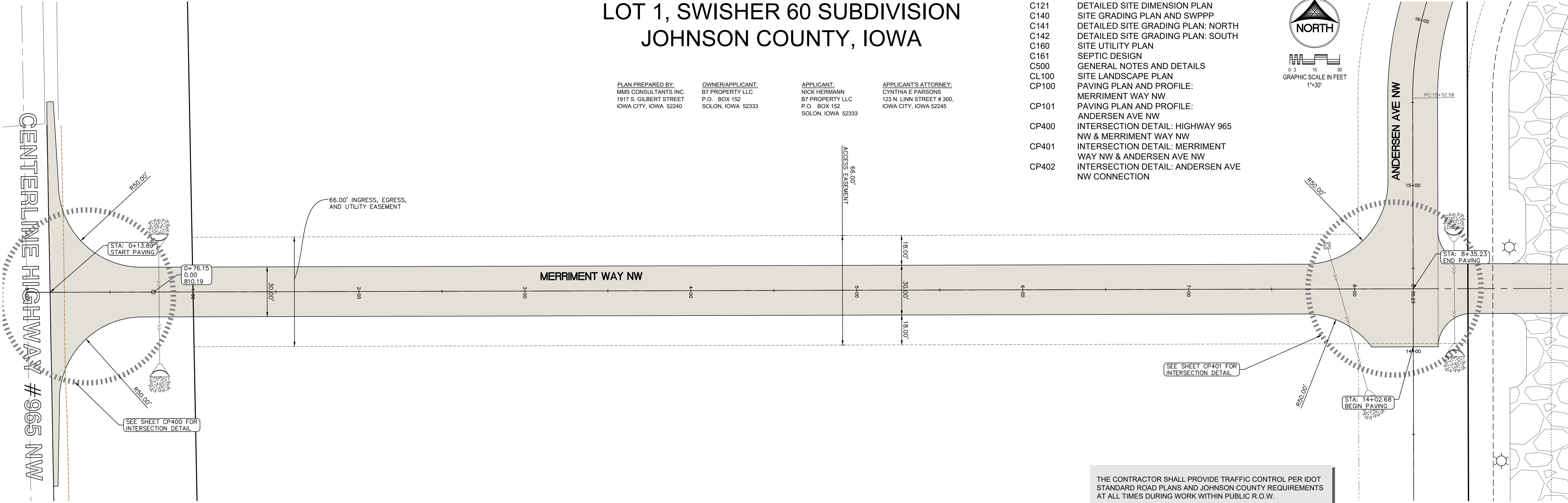
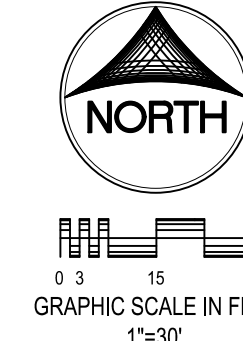
OWNER/APPLICANT: B7 PROPERTY LLC
 P.O. BOX 152
 SOLON, IOWA 52333

APPLICANT: NICK HERMANN
 B7 PROPERTY LLC
 P.O. BOX 152
 SOLON, IOWA 52333

APPLICANT'S ATTORNEY: CYNTHIA E. PARSONS
 123 N. LINN STREET # 300,
 IOWA CITY, IOWA 52245

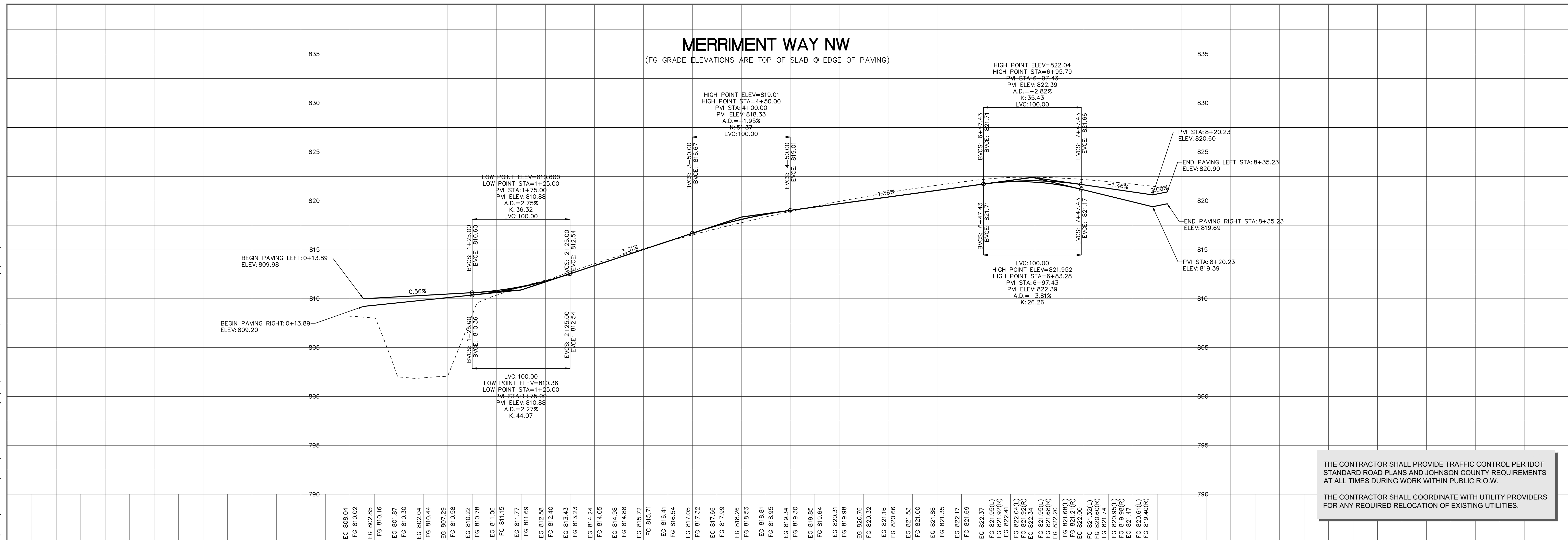
SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE:
MERRIMENT WAY NW
- CP101 PAVING PLAN AND PROFILE:
ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965
NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT
WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE
NW CONNECTION



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT
 STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS
 AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS
 FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-8282
www.mmsconsultants.net

Date	Revision

PAVING PLAN AND PROFILE: MERRIMENT WAY NW

SWISHER 60 SUBDIVISION PUBLIC IMPROVEMENTS

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 05-03-2024

Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=30'

Checked by: CAT Sheet No:

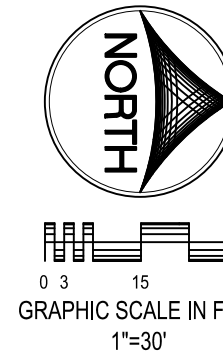
Project No: CP100

11801-001

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT
 STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS
 AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS
 FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

G:\11801\11801-001\const\11801-001\SUR.dwg 5/23/2024 1:46:20 PM; scale: 1:0.03 (g.pfileter)



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

SHEET INDEX

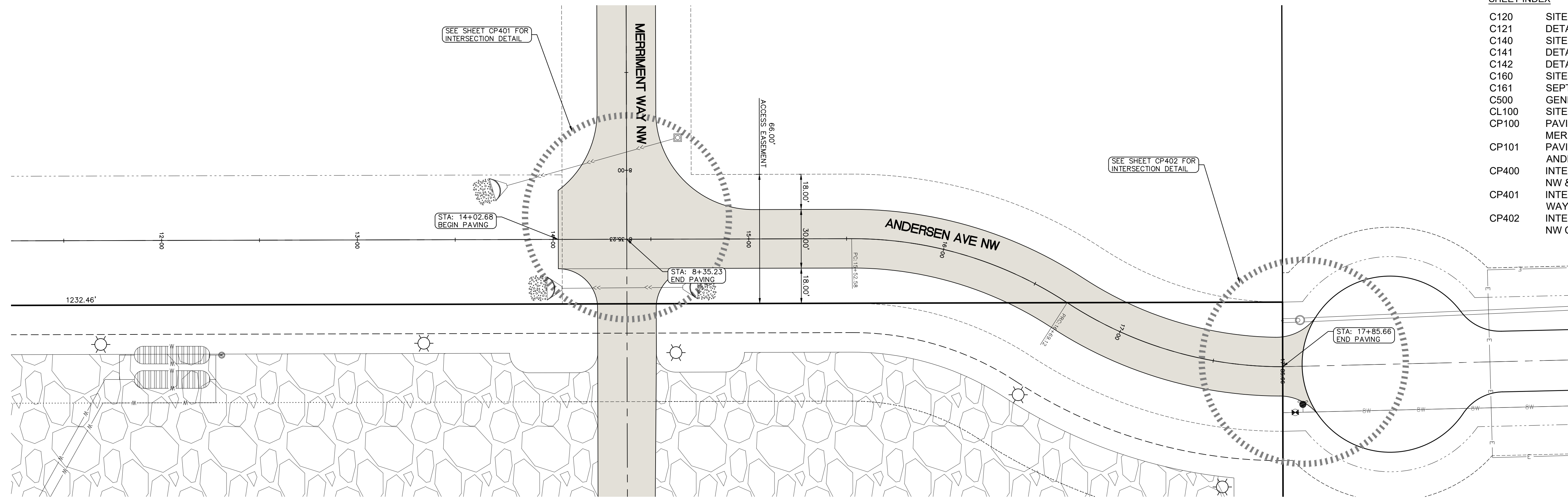
- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE:
MERRIMENT WAY NW
- CP101 PAVING PLAN AND PROFILE:
ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965
NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT
WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE
NW CONNECTION



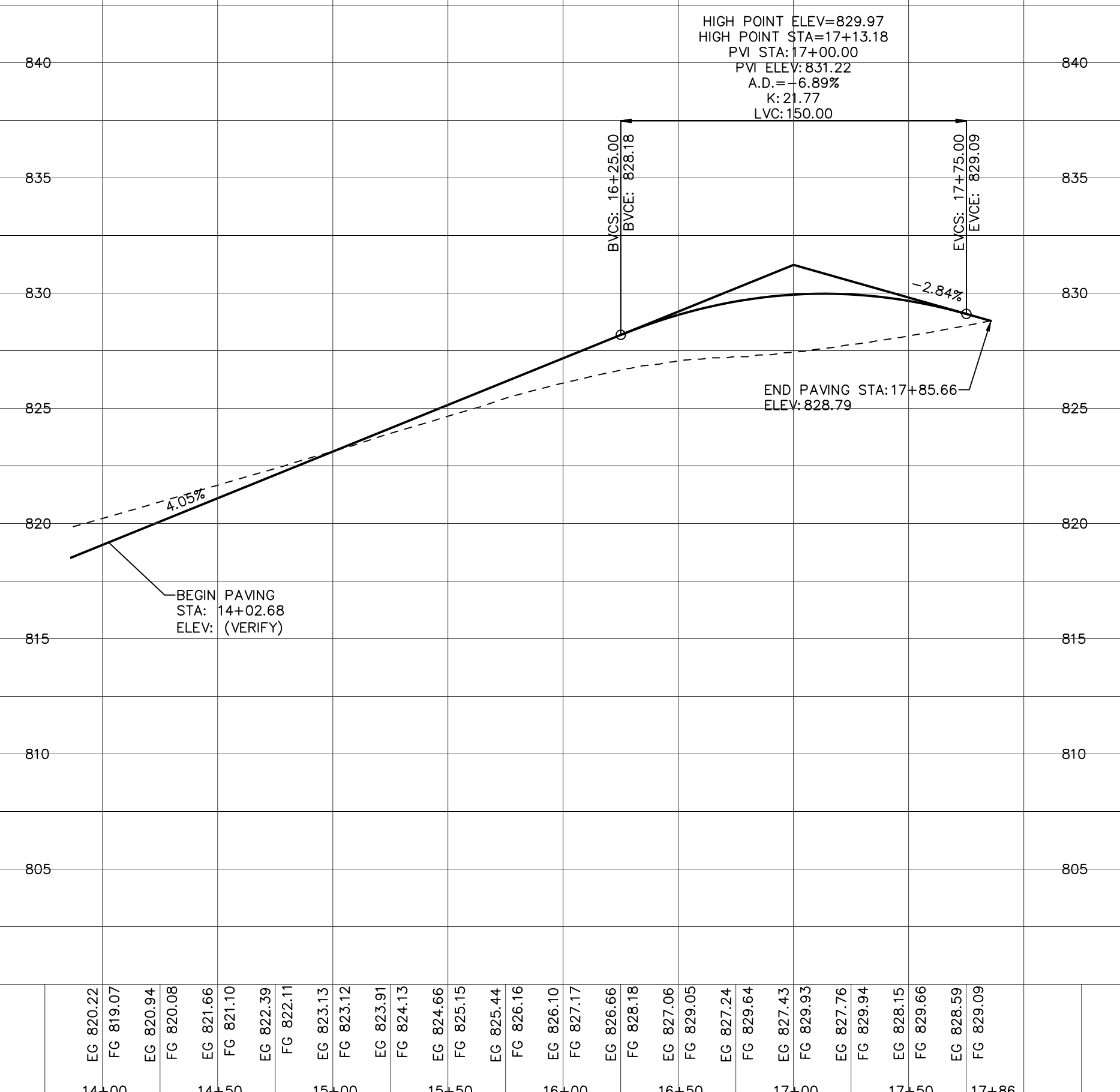
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision



ANDERSEN AVE NW
(FG GRADE ELEVATIONS ARE TOP OF SLAB @ CENTERLINE)



PAVING PLAN
AND PROFILE:
ANDERSEN AVE
NW

**SWISHER 60
SUBDIVISION
PUBLIC IMPROVEMENTS**

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 05-03-2024

Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=30'

Checked by: CAT Sheet No:

Project No: CP101

11801-001



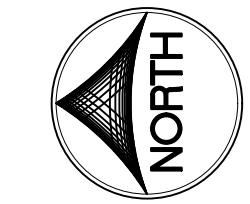
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202.



0 5 10
GRAPHIC SCALE IN FEET
1"=10'

SHEET INDEX

C120	SITE LAYOUT & DIMENSION PLAN
C121	DETAILED SITE DIMENSION PLAN
C140	SITE GRADING PLAN AND SWPPP
C141	DETAILED SITE GRADING PLAN: NORTH
C142	DETAILED SITE GRADING PLAN: SOUTH
C160	SITE UTILITY PLAN
C161	SEPTIC DESIGN
C500	GENERAL NOTES AND DETAILS
CL100	SITE LANDSCAPE PLAN
CP100	PAVING PLAN AND PROFILE: MERRIMENT WAY NW
CP101	PAVING PLAN AND PROFILE: ANDERSEN AVE NW
CP400	INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMENT WAY NW
CP401	INTERSECTION DETAIL: MERRIMENT WAY NW & ANDERSEN AVE NW
CP402	INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION

Date Revision

**INTERSECTION
DETAIL:
HIGHWAY 965
NW &
MERRIMENT
WAY NW**

**SWISHER 60
SUBDIVISION
PUBLIC IMPROVEMENTS**

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 05-03-2024

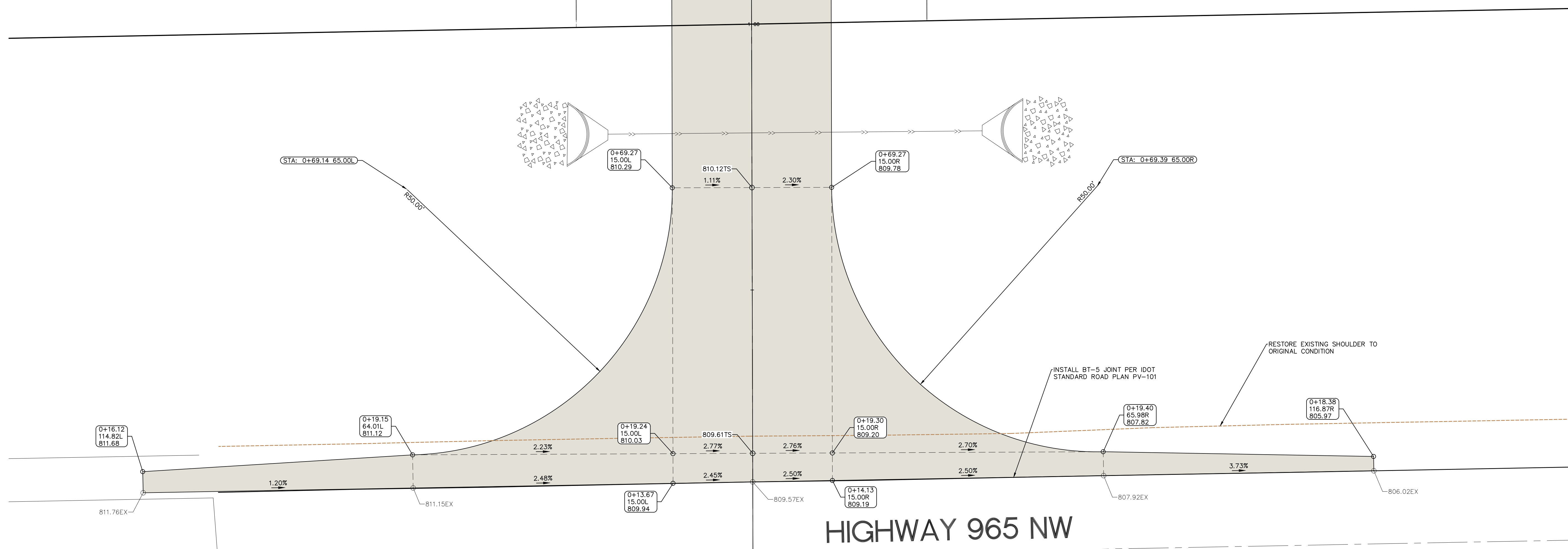
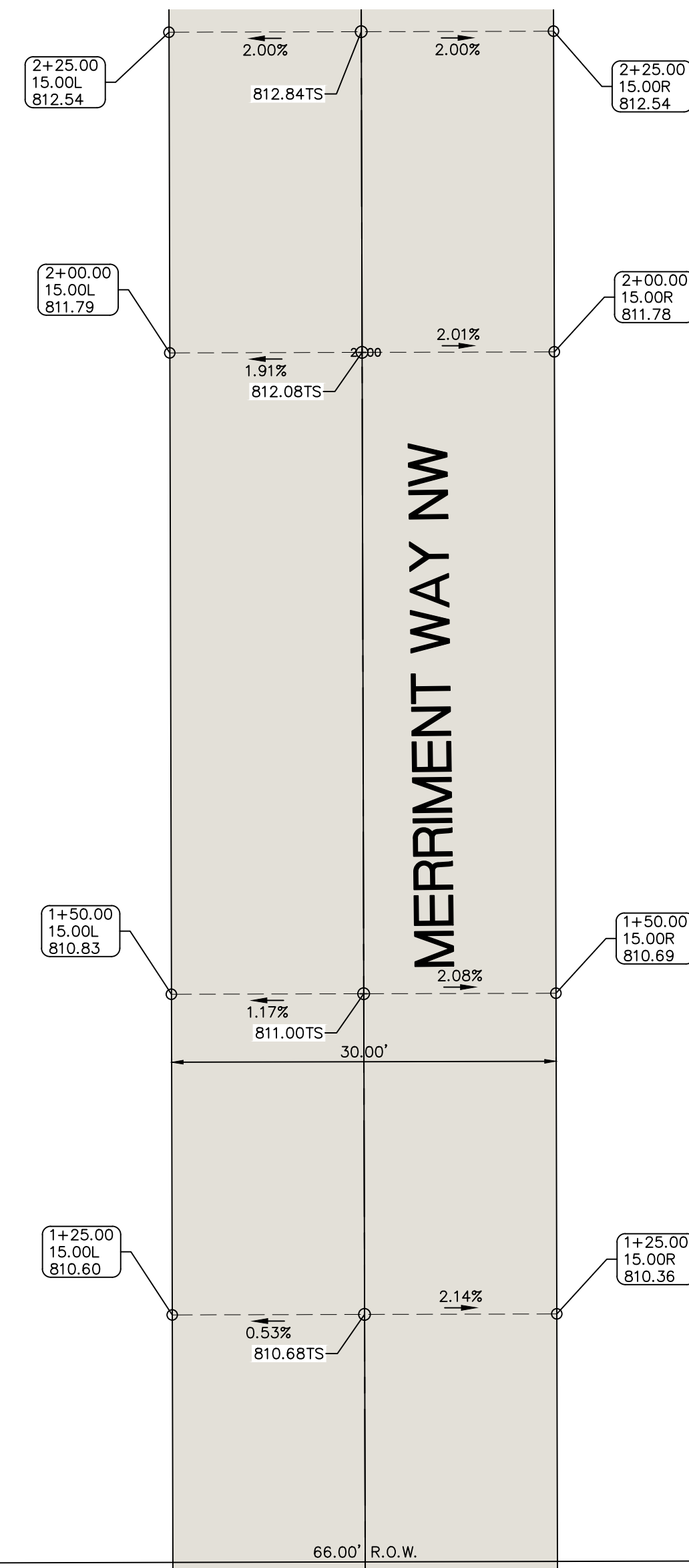
Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=10"

Checked by: CAT Sheet No:

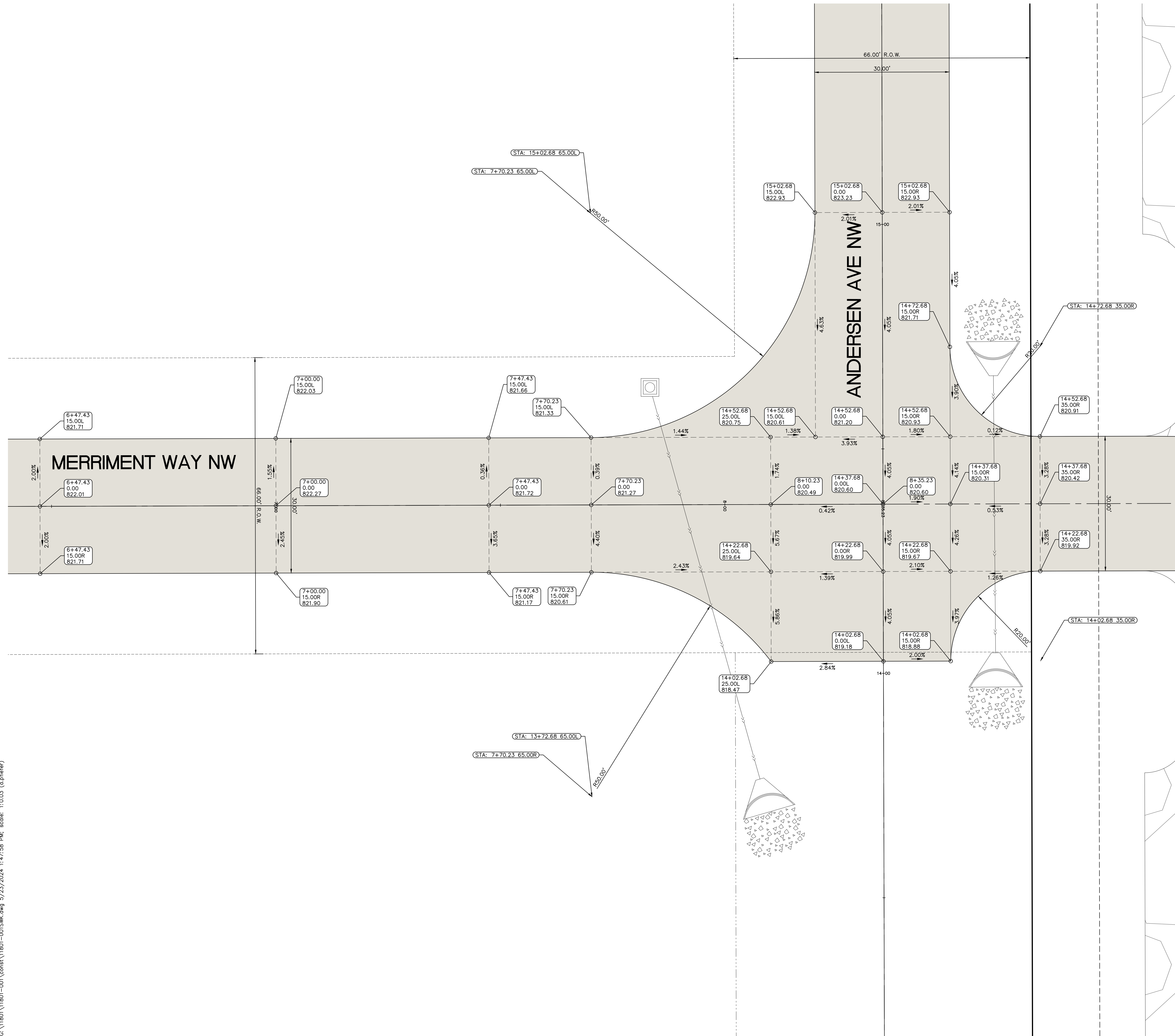
Project No: CP400

11801-001



G:\11801\11801-001\const\11801-001\SMK.dwg 5/23/2024 1:47:55 PM; scale: 1:0.03 (c:\pfile\er)

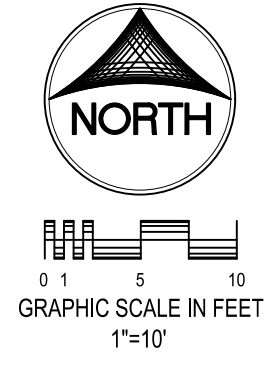
G:\11801\11801-001\const\11801-001\SWK.dwg 5/23/2024 1:47:58 PM; scale: 1:0.03 (i-plotter)



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202.



SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE: MERRIMONT WAY NW
- CP101 PAVING PLAN AND PROFILE: ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965 NW & MERRIMONT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMONT WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE NW CONNECTION



CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-8282
www.mmsconsultants.net

Date	Revision

**INTERSECTION DETAIL:
 MERRIMONT WAY NW &
 ANDERSEN AVE NW**

**SWISHER 60
 SUBDIVISION
 PUBLIC IMPROVEMENTS**

JOHNSON COUNTY
 IOWA

MMS CONSULTANTS, INC.	
Date:	05-03-2024
Designed by:	CAT/LSS
Drawn by:	ADP
Checked by:	CAT
Project No:	11801-001
Field Book No:	
Scale:	1"=10'
Sheet No:	CP401

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202.



SHEET INDEX

- C120 SITE LAYOUT & DIMENSION PLAN
- C121 DETAILED SITE DIMENSION PLAN
- C140 SITE GRADING PLAN AND SWPPP
- C141 DETAILED SITE GRADING PLAN: NORTH
- C142 DETAILED SITE GRADING PLAN: SOUTH
- C160 SITE UTILITY PLAN
- C161 SEPTIC DESIGN
- C500 GENERAL NOTES AND DETAILS
- CL100 SITE LANDSCAPE PLAN
- CP100 PAVING PLAN AND PROFILE:
MERRIMENT WAY NW
- CP101 PAVING PLAN AND PROFILE:
ANDERSEN AVE NW
- CP400 INTERSECTION DETAIL: HIGHWAY 965
NW & MERRIMENT WAY NW
- CP401 INTERSECTION DETAIL: MERRIMENT
WAY NW & ANDERSEN AVE NW
- CP402 INTERSECTION DETAIL: ANDERSEN AVE
NW CONNECTION



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision

**INTERSECTION
DETAIL:
ANDERSEN AVE
NW
CONNECTION**

**SWISHER 60
SUBDIVISION
PUBLIC IMPROVEMENTS**

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 05-03-2024

Designed by: CAT/LSS Field Book No:

Drawn by: ADP Scale: 1"=10'

Checked by: CAT Sheet No:

Project No: CP402

11801-001

