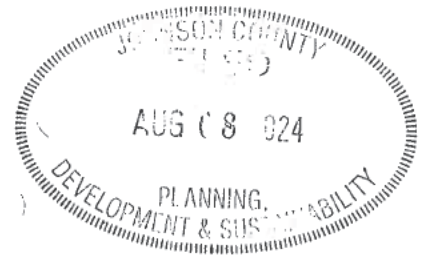


Office Use Only	8/8/24	\$ 250	P2C-24-28565
	Date Filed	Fee	Application Number



JOHNSON COUNTY, IOWA

APPLICATION FOR: SITE PLAN REVIEW

In accordance with chapter 8:1.25 of the Johnson County Unified Development Ordinance, a site plan shall be reviewed prior to issuance of a building permit in the RR, C, CH, AG-T, C-AG, ML, MH, and SWDRR zoning districts, and prior to commencing certain conditional uses permitted by the Board of Adjustment where required by Chapter 8:1.23.

Proposed Use of Structure(s): Temporary Concrete Batch Plant

*Amended Site Plan

Address of Location: Canyon Drive NW

Subdivision Name and Lot Number: Lots 1 & 2 JoCo 50 Subdivision

Current Zoning: ML

Parcel Number: 0304328002 & 0304328001

NOTE: Complete Site Plan applications are not subject to the standard filing deadlines for development applications and may be submitted at any time. Once complete, they will be placed on the next available Board of Supervisors' Formal Agenda.

PLEASE PRINT OR TYPE

The undersigned affirms that the information provided herein is true and correct. If applicant is not the owner, applicant affirms that the owner(s) of the property described on this application consent to this application being submitted, and said owners hereby give their consent for the office of Johnson County Planning, Development, and Sustainability to conduct a site visit and photograph the subject property.

Hightower Development, Inc

Streb Construction Co., LLC

Name of Owner

Name of Applicant (if different)

Applicant Street Address (including City, State, Zip)

Applicant Phone

Applicant Email

Applicant Signature

See back page for Application Submittal Requirements and Checklist

The following items must be submitted for the application to be complete. Once submitted, county staff will review the materials and request revisions (if necessary). Once all revisions and outside reviews have been received, the application will be placed on the next available Board of Supervisors agenda.

Electronic submissions – including CAD or GIS line work – should be submitted in accordance with the PDS department's electronic submission guidelines (see below). Preference is that electronic submission is provided prior to hard copy submission.

Initial each item below to confirm that you are aware of the submittal requirements for an application to be considered complete.

- LSS A letter of intent explaining the proposed use including but not limited to the type of business, number of employees, parking facilities proposed, days and hours of operation, provisions for water and wastewater, type of equipment to be used, and signage.
- LSS Two (2) copies of the site plan which includes all information required by section 8:1.25 of the Johnson County Unified Development Ordinance, including:
- LSS Landscape Plan – should be a dedicated sheet
- LSS Grading Plan, including Erosion and Sediment Control Plan/SWPPP – should be a dedicated sheet.
- LSS Paving detail for entrances, drives, parking areas – can be included on other sheets or be on a dedicated sheet.
- N/A Sensitive Areas Exhibit (delineations from the Sensitive Areas Report, shown on a dedicated sheet at the same scale as the site plan. This exhibit should show all proposed disturbance on the site including proposed building footprints and the extent of any grading).
- N/A A copy of an approved ROW Permit (Access Permit) from Johnson County Secondary Roads or Iowa DOT for access sufficient to serve the use proposed in the application.
- LSS Application Fee (\$250) is due at the time of submittal.
- LSS One (1) copy of the Sensitive Areas Analysis in compliance with the Sensitive Areas Ordinance.
- LSS One (1) copy of the Stormwater Management Plan (including soil erosion and sediment control) in compliance with the Stormwater Management regulations, or an approved waiver.

Electronic Submission Requirements – an electronic submission of all hard-copy materials required above should be submitted prior to hard copy delivery. In all cases, electronic submission is due by 12 noon the day after the submittal deadline for the application to be considered complete. Electronic submissions should include, and conform with, the following:

- LSS Electronic or digitized copy (CAD line work or GIS geodatabase) of proposed plat in .dwg format (.dxf is also acceptable if .dwg is not an option. No .zip files will be accepted).
- Submission must be saved in AutoCAD 2007 or older format.
 - Submissions must use Coordinate System: NAD_1983_StatePlane_Iowa_South_FIPS_1402_Feet
 - If applicable, submission should include existing structures (if any), property lines, road right-of-way lines, required setback lines, and requested setback lines.
 - Submission **MUST** include information for Sensitive Areas Analysis/Mapping and Stormwater/Soil Erosion Control infrastructure on the site. This includes any limits of disturbance or other impact areas.
 - Submission should NOT include legends, legal descriptions, location maps, signature blocks, etc.
- LSS A PDF of the entire application packet. A single PDF preferred; but a separate PDF for site plan, application materials, sensitive areas documentation, stormwater plan, and legal documents (if applicable) is acceptable.



MMS Consultants, Inc.
Experts in Planning and Development Since 1975

1917 S. Gilbert Street
Iowa City, Iowa 52240

319.351.8282

mmsconsultants.net
mms@mmsconsultants.net

August 7, 2024

Mr. Josh Busard
Johnson County Planning Development & Sustainability Dept.
913 S. Dubuque St, Suite 204
Iowa City, IA 52240



RE: Letter of Intent for The Temporary Concrete Batch Plant - Site Plan

Dear Mr. Busard:

Streb Construction Co., LLC, intending to erect a temporary concrete batch plant on Lots 1 and 2, JOCO 50 Subdivision. The batch plant will be used to supply concrete to multiple projects in the area. The proposed temporary batch plant and storage bins account for 2,283 SF. All site improvements are over a granular base with no permanent surfacing being placed, landscape screening has been added to the previously approved site plan for the same intent.

Located between Highway 965, Canyon Drive NW, and Andersen Avenue NW, the batch plant will only have access drives off Canyon Drive NW and Andersen Avenue NW. Ders Drive is connected to Highway 965 NW.

The facility is served by a temporary water main connection and temporary electrical connection, connecting to improvements constructed with the JoCo 50 Subdivision. No sanitary or storm sewer connections will be utilized.

Storm water management for this site is being provided by the storm water management facility constructed with JOCO 50 Subdivision. Runoff from the site will be directed to the drainage swale along Canyon Drive NW and drain to the storm water management facility.

There will be no parking lot lighting proposed with the project.

Archaeological and sensitive areas reports were completed with the JOCO 50 subdivision with an application date of March 10th, 2021.

Respectfully submitted,

Lacey S. Stutzman
T:\4270\4270-029\4270-029_L1.docx



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Iowa City, Iowa 52240

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mms@mmsconsultants.net

LETTER OF TRANSMITTAL

TO: Johnson County Planning,
Development & Sustainability

Date: 8/8/24

Project #: 4270-029

From: MMS Consultants, Inc.

RE: Temporary Concrete Batch Plant

We are sending you the following attached items: **Via Hand Delivered**

COPIES	DATE	PROJECT NO.	DESCRIPTION
1	8/8/24	4270-029	Site Plan Applicaton
1	8/8/24	4270-029	Letter of Intent
2	8/8/24	4270-029	Site Plan

These are transmitted as checked below:

- | | | |
|--|---|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> For Approval & Signature |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned as noted | <input type="checkbox"/> For Recording |
| <input type="checkbox"/> For review & comment | <input type="checkbox"/> Prints returned after loan to us | <input type="checkbox"/> Other |

REMARKS:

Lacey Stutzman
MMS Consultants, Inc.

COPY TO: _____

Received by: _____ Date: _____ Time: _____

IF ENCLOSURES ARE NOT NOTED, KINDLY NOTIFY US AT ONCE.

Environmental Specialists

Landscape Architects

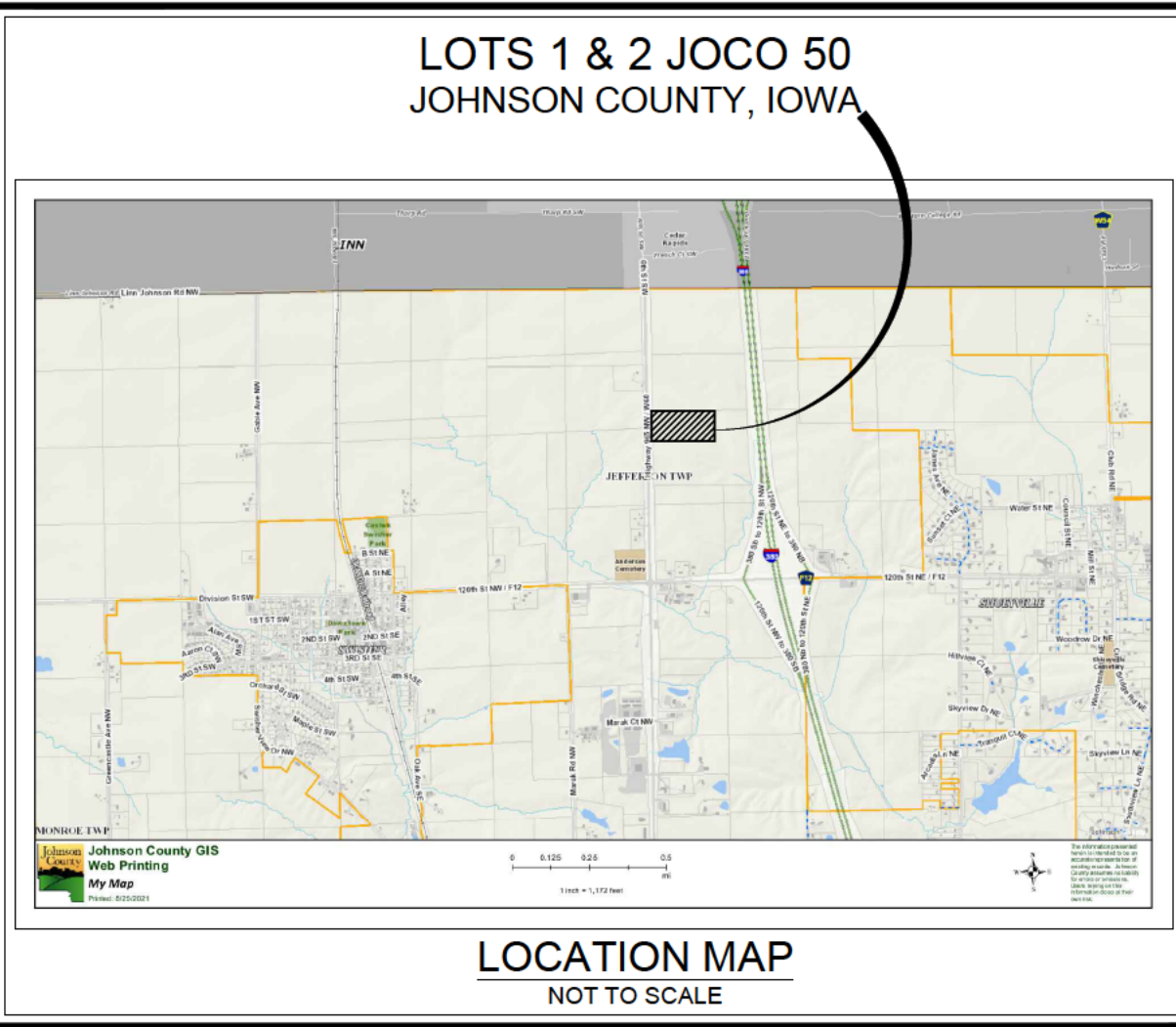
Land Planners

Land Surveyors

Civil Engineers

SITE PLAN
TEMPORARY CONCRETE BATCH PLANT
LOTS 1 & 2, JOCO 50 SUBDIVISION
JOHNSON COUNTY, IOWA

DONNA R. SHEER TRUST
JOY L. MUMFORD
THOMAS C. MUMFORD
SW 1/4 - NW 1/4
SECTION 4-7814477M

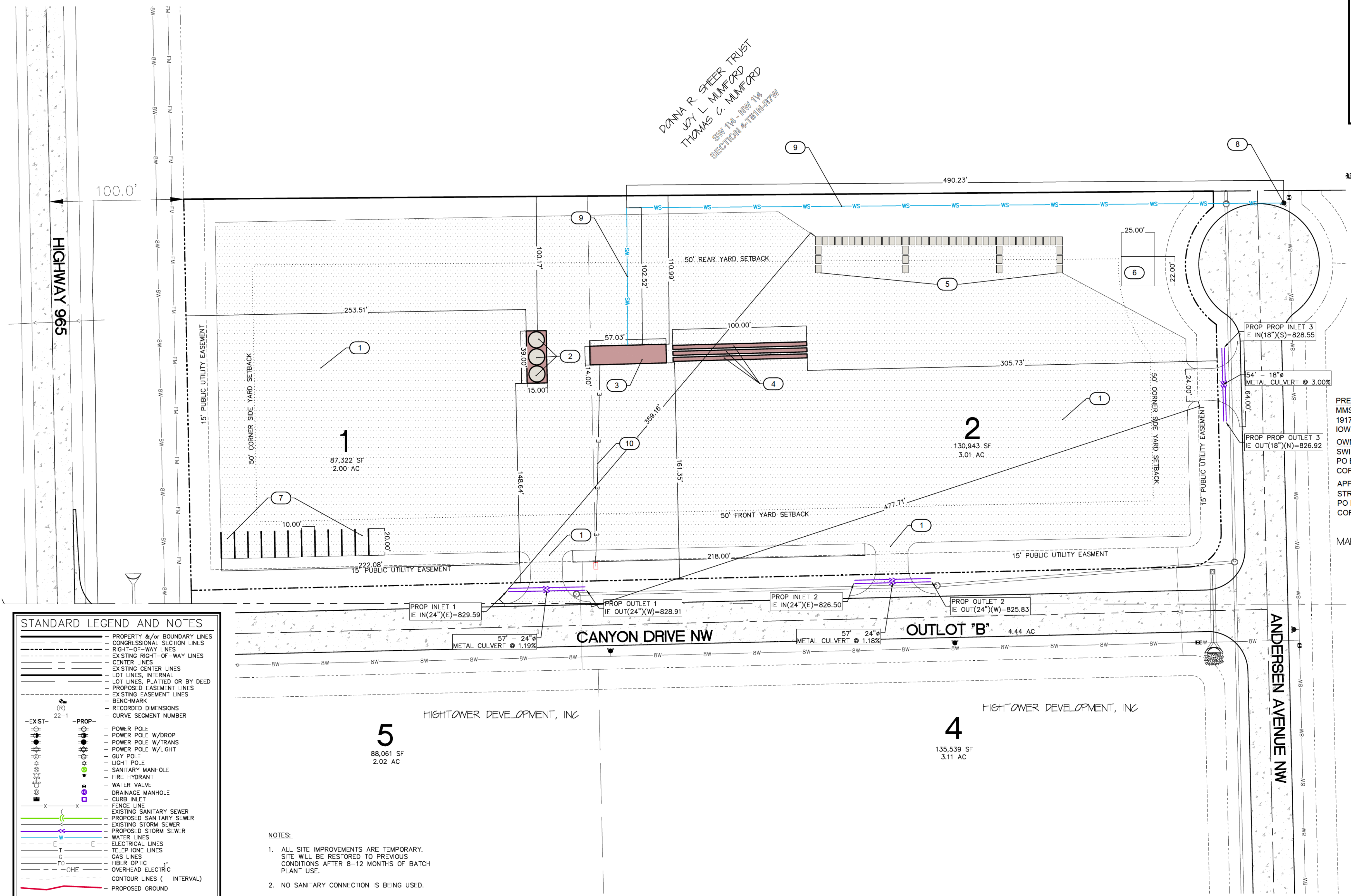


5.01 ACRES

MMS

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LAND SURVEYORS
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ENVIRONMENTAL SPECIALISTS

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LEGAL DESCRIPTION
LOT 1 AND 2 OF JOCO 50 SUBDIVISION, JOHNSON COUNTY, IOWA. SAID TRACT OF LAND CONTAINS 5.01 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PROPOSAL
APPLICANT PLANS TO DEVELOP A TEMPORARY CONCRETE BATCH PLANT ON THE 5.01 ACRE SITE.

DEVELOPMENT SCHEDULE

PHASE	AREA OF WORK	LAND USE TYPE(S)	CONSTRUCTION PERIOD
		CONCRETE BATCH PLANT	FALL 2024 THRU FALL 2027

DEVELOPMENT CHARACTERISTICS

CURRENT ZONING: ML (LIGHT INDUSTRIAL)

SETBACK REQUIREMENTS

BUILDING SETBACKS:

	REQUIRED
FRONT YARD	50 FEET
SIDE YARD	20 FEET
REAR YARD	50 FEET

MINIMUM LOT REQUIREMENTS

MINIMUM LOT SIZE	NONE
LOT FRONTAGE	NONE
LOT WIDTH	NONE
MAXIMUM BUILDING HEIGHT	35 FEET

LOT CHARACTERISTICS

LOT AREA	218,265 SF (100%) (5.01 AC)
BUILDING AREA - PROPOSED	2,283 SF (1.1%)
GRANULAR SURFACING AREA - PROPOSED	171,805 SF (78.7%)
GREEN SPACE AREA	44,177 SF (20.2%)

PARKING REQUIREMENTS

BATCH PLANT:

1/4000 SF 2283/4000	=	1 SPACES
1/1 EMPLOYEES 10/1	=	10 SPACES

TOTAL PROVIDED 11 SPACES

NO PARKING LOT LIGHTING IS PROPOSED. ALL SITE LIGHTING SHALL COMPLY WITH DOWNCAST LIGHTING STANDARDS.

NO SIGNAGE IS PROPOSED. ANY FUTURE SIGNAGE WILL BE INSTALLED IN ACCORDANCE WITH COUNTY REGULATIONS.

PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
SWISHER 50, LLC
PO BOX 5198
CORALVILLE, IA 52241

APPLICANT:
STREB CONSTRUCTION CO., INC.
PO BOX 5065
CORALVILLE, IOWA 52241

MAK BOONE, LLC

PLAN APPROVED BY:
APPLICANT

DATE

PLAN APPROVED BY:
JOHNSON COUNTY PUBLIC HEALTH

DATE

PLAN APPROVED BY:
SECONDARY ROADS

DATE

PLAN APPROVED BY:
JOHNSON COUNTY ZONING ADMINISTRATOR

DATE

NUMBER	KEYNOTE
1	INSTALL DRIVEWAYS AND SURFACING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)
2	MATERIAL SILOS
3	PORTABLE BATCH PLANT (35 FT IN HEIGHT)
4	CONVEYOR
5	MATERIAL STORAGE AREA WITH TEMPORARY CONCRETE BLOCK
6	CONCRETE WASHOUT
7	PARKING AREA
8	INSTALL METERED TEMPORARY HYDRANT CONNECTION WITH BACKFLOW PREVENTER VIA CITY OF CEDAR RAPIDS
9	2" TEMPORARY OVERLAND WATER SERVICE
10	INSTALL TEMPORARY ELECTRICAL CONNECTION

SITE LAYOUT, UTILITY
AND DIMENSION PLAN

TEMPORARY CONCRETE
BATCH PLANT
LOTS 1 & 2, JOCO 50

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 08/02/2024

Designed by: KJB Field Book No:

Drawn by: KJB Scale: 1"=40'

Checked by: KJB Sheet No:

Project No: 4270-029 of: 4

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-6969 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



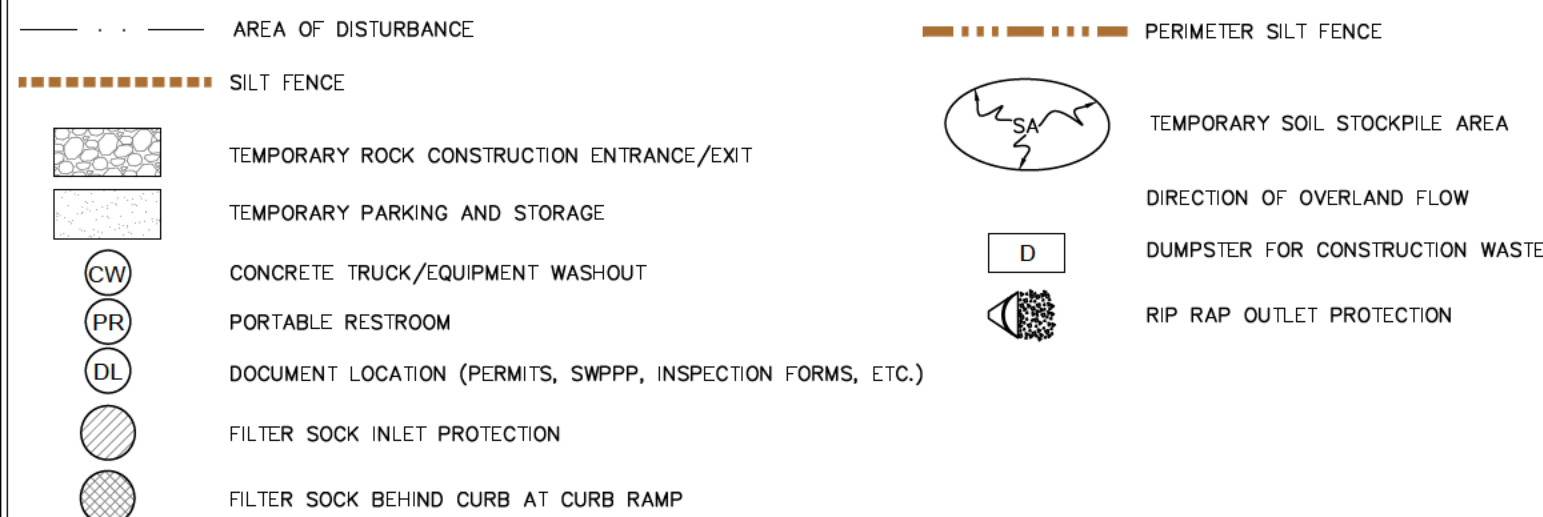
THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

NOTES:

- TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
- FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.
- AFTER USE, SITE WILL BE RETURNED TO ORIGINAL CONDITIONS

EROSION CONTROL LEGEND



THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 4.10 ACRES
TOTAL AREA TO BE DISTURBED: 5.01 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

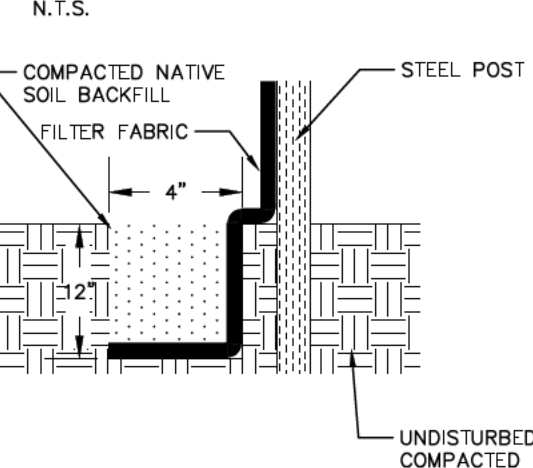
CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

SILT FENCE DETAIL



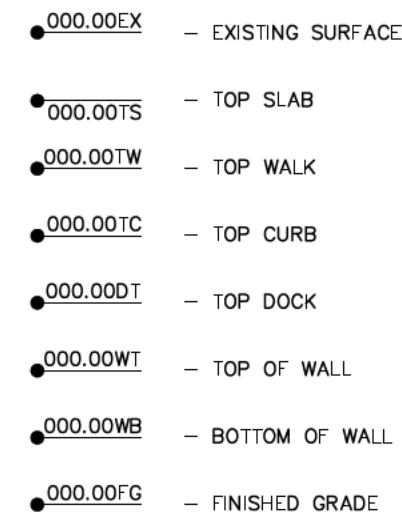
INSTALLATION

- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL, CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS. FILTER FABRIC SHALL BE STAPLED OR WREED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

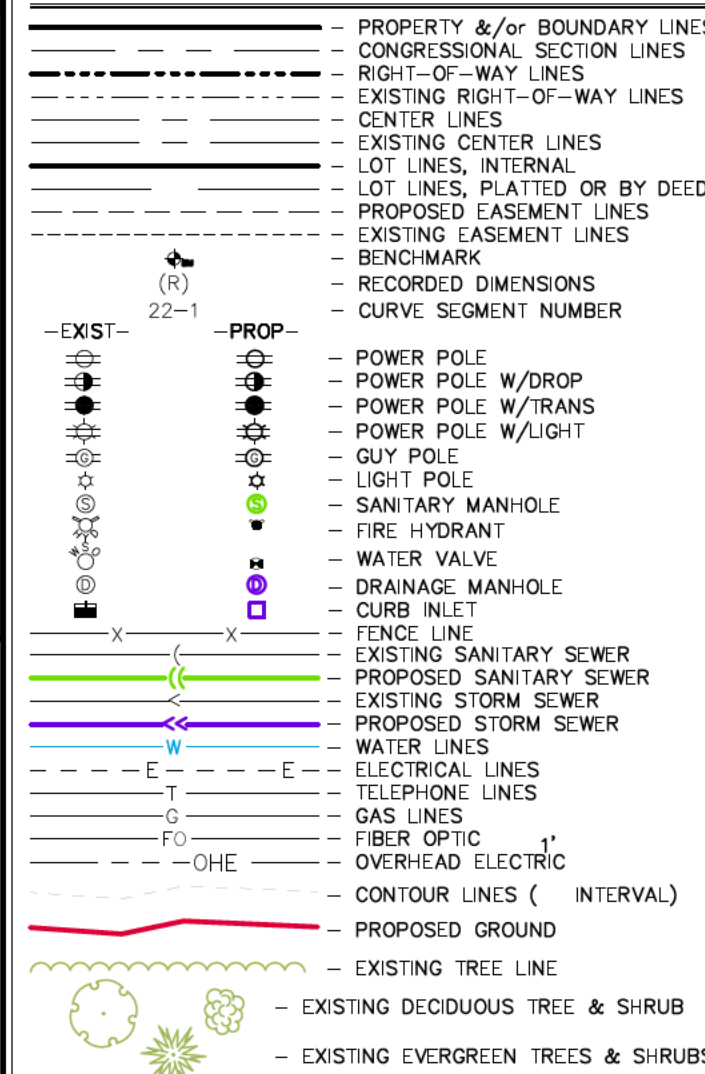
MAINTENANCE

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN, INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

GRADING LEGEND



STANDARD LEGEND AND NOTES



THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

GRADING NOTES

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5. HORIZONTAL TO 1: VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER RETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH JOHNSON COUNTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

5.01 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SITE GRADING AND
EROSION CONTROL PLAN
AND SWPPP

TEMPORARY CONCRETE
BATCH PLANT
LOTS 1 & 2, JOCO 50

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 08/02/2024

Designed by: KJB Field Book No:

Drawn by: KJB Scale: 1"=40'

Checked by: KJB Sheet No:

Project No: 4270-029

2

of: 4



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Date	Revision
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GENERAL NOTES
AND DETAILS

TEMPORARY CONCRETE
BATCH PLANT
LOTS 1 & 2, JOCO 50

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	08/02/2024
Designed by:	KJB
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Checked by:	KJB
Project No:	4270-029
Field Book No:	
Scale:	
Sheet No:	3
of:	4

CITY OF CEDAR RAPIDS STANDARD SUDAS PLAN NOTES

- DIVISION 1—GENERAL PROVISIONS
1. ALL SITE CONSTRUCTION SHALL BE ACCORDING TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) PROGRAM SPECIFICATIONS, LATEST EDITION, AS SUPPLEMENTED BY CITY OF CEDAR RAPIDS REQUIREMENTS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. A COPY OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) PROGRAM SPECIFICATIONS REFERENCED IN THESE PLANS CAN BE FOUND AT <http://www.iowasudas.org/>.
 2. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE—CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
 3. THE CITY OF CEDAR RAPIDS IS RESPONSIBLE FOR INSPECTION WITHIN THE PUBLIC RIGHT-OF-WAYS. INSPECTIONS FOR PUBLIC WATER MAIN EXTENSIONS AND WATER SERVICES SHALL BE PROVIDED BY THE UTILITIES DEPT. INSPECTIONS FOR OTHER PUBLIC IMPROVEMENTS WILL BE PROVIDED BY THE CEDAR RAPIDS PUBLIC WORKS DEPARTMENT CONSTRUCTION ENGINEERING DIVISION. PROVIDE A MINIMUM OF 72 HOURS NOTICE PRIOR TO STARTING CONSTRUCTION.
 4. PLEASE REFER TO SUDAS 1070 2.07 FOR GENERAL UTILITY NOTES. ABANDONED UTILITIES NOT SHOWN ON THE PLANS MAY EXIST WITHIN THE CONSTRUCTION LIMITS. IF ENCOUNTERED, CONTRACTOR SHALL CONFIRM SAID UTILITIES ARE ABANDONED. CONTRACTOR IS RESPONSIBLE FOR REMOVING THESE LINES AS NECESSARY FOR CONSTRUCTION.
 5. CONTRACTOR SHALL VERIFY SANITARY AND STORM SEWER PIPE SIZES AND INVERTS PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MANHOLES AND/OR PIPE.
 6. CONTRACTOR SHALL REPAIR ALL FIELD/DRAIN TILES ENCOUNTERED DURING CONSTRUCTION AS SPECIFIED OR AT A MINIMUM TO ALLOW FLOW USING LIKE MATERIAL IN NEW CONDITION WITH CITY APPROVED CONNECTIONS. CONTRACTOR SHALL RECORD EXISTING TYPE, SIZE, LOCATION AND DEPTH OF ALL FIELD/DRAIN TILES ENCOUNTERED AND REPAIRED DURING CONSTRUCTION. PROVIDE DATA TO THE CITY FOR INCORPORATION INTO RECORD DRAWINGS.
 7. CONTRACTOR SHALL NOT STORE EQUIPMENT AND/OR MATERIALS WITHIN PUBLIC RIGHT-OF-WAY ON STREETS AND/OR ALLEYS OPEN TO TRAFFIC. CONTRACTOR SHALL PROVIDE AREAS AS NEEDED FOR STORAGE OF EQUIPMENT AND/OR MATERIALS.
 8. CONTRACTOR SHALL ASSIST THE CITY INSPECTOR WITH DAILY RECORD KEEPING INCLUDING DOCUMENTING ALL NECESSARY FIELD LOCATIONS AND MEASUREMENTS.

- DIVISION 5—WATER NOTES 1-4-2021:
1. ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.
 2. WATER INSPECTION AND WORK ORDER REQUESTS: CONTACT WATER ENGINEERING AT: CALL: 319-286-5950 OR E-MAIL: WATER-ENGINEERING-ADMIN@CEDAR-RAPIDS.ORG FIVE (5) DAYS NOTICE REQUIRED PRIOR TO STARTING WATER CONSTRUCTION
 - WATER PROJECT START—WORK ORDER
 - 48-HOUR MINIMUM NOTICE REQUIRED TO SCHEDULE WATER SUPPLY INTERRUPTION
 - WATER SHUT-DOWN WORK ORDER
 - 24-HOUR MINIMUM NOTICE REQUIRED FOR THE FOLLOWING:
 - WATER TAP WORK ORDER
 - FILL & FLUSH WORK ORDER
 - BACTERIA TESTING WORK ORDER
 - PRESSURE TESTING WORK ORDER
 - OTHER WATER SYSTEM RELATED SERVICES
 3. THE CONTRACTOR IS REQUIRED TO NOTIFY IOWA ONE CALL (1-800-292-8989) NOT LESS THAN 48 HOURS PRIOR TO EXCAVATION, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
 4. CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE AT THE CEDAR RAPIDS WATER DEPARTMENT ADMINISTRATION BUILDING, LOCATED AT 1111 SHAVER ROAD NE, PRIOR TO RECEIVING START—WORK APPROVAL.
 5. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CEDAR RAPIDS WATER DIVISION FOR ANY VARIANCE FROM THE APPROVED PLAN.
 6. ON SITE INSPECTION OF WATER MAIN INSTALLATION WILL BE PROVIDED BY CEDAR RAPIDS WATER DIVISION. THE WATER DIVISION SHALL OPERATE ALL SYSTEM VALVES AND FIRE HYDRANTS IN CONJUNCTION WITH THE WORK.
 7. WATER MAIN DESIGN, MATERIALS, INSTALLATION, DISINFECTION, AND TESTING MUST COMPLY WITH CEDAR RAPIDS STANDARD SUPPLEMENTAL SPECIFICATION TO STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND AMERICAN WATER WORKS ASSOCIATION (AWWA) DISINFECTING WATER MAINS STANDARD C651. THIS APPLIES TO ALL PUBLICLY AND PRIVATELY OWNED WATER MAINS AND SERVICE LINES ON THE DISTRIBUTION SIDE OF THE METER. FOR PUBLICLY ACCEPTED IMPROVEMENTS CONSTRUCTED AS PART OF A SUBDIVISION, THE CONTRACTOR SHALL PURCHASE FIRE HYDRANTS AND VALVES FROM THE CITY PER CURRENT POLICY. EXCEPTIONS MUST BE PRE-APPROVED BY CEDAR RAPIDS WATER DIVISION.
 8. REQUIREMENTS FOR SEPARATION OF WATER MAINS AND SEWERS IS CONTAINED WITHIN THE CEDAR RAPIDS STANDARD SUPPLEMENTAL SPECIFICATION TO SUDAS, SECTION CR-5010 PIPE AND FITTINGS.
 9. CONTRACTOR SHALL INSTALL TRACER WIRE ON ALL PUBLICLY AND PRIVATELY OWNED WATER MAINS AND FIRE SERVICE LINES IRRESPECTIVE OF WATER MAIN MATERIAL. COMPLY WITH FIGURE CR-5010.102 FOR TRACER WIRE INSTALLATION. ENCASE ALL PIPE, VALVES, AND FITTINGS WITH POLYETHYLENE WRAP ACCORDING TO CEDAR RAPIDS STANDARD SUPPLEMENTAL SPECIFICATION TO SUDAS, SECTION CR-5010 PIPE AND FITTINGS 3.03.
 10. WATER MAINS AND LARGE SERVICES (3 INCH OR LARGER) OVER 20 FEET IN LENGTH ARE REQUIRED TO BE DISINFECTED, FLUSHED, FILLED AND PRESSURE TESTED IN ACCORDANCE WITH CEDAR RAPIDS STANDARD SUPPLEMENTAL SPECIFICATION TO SUDAS, SECTION CR-5030 TESTING AND DISINFECTION. DO NOT ALLOW HEAVILY CHLORINATED WATER TO REMAIN IN THE PIPELINE FOR MORE THAN 48 HOURS. THOROUGHLY FLUSH CHLORINATED WATER FROM THE PIPELINE UNTIL THE REPLACEMENT WATER WILL BE EQUAL IN QUALITY TO PERMANENT SOURCE OF SUPPLY THROUGHOUT THE LENGTH OF THE PIPELINE. NEUTRALIZE THE CHLORINATED WATER BY TREATING WITH SODIUM BISULFITE, SODIUM SULFITE, SODIUM THIOSULFATE OR EQUAL APPROVED CHEMICAL BEFORE DISPOSAL. THE CONTRACTOR IS RESPONSIBLE FOR WATER MAIN FLUSHING OPERATIONS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, VERIFYING PROCEDURES, PROVIDING ADEQUATE PERSONNEL AND EQUIPMENT, OBTAINING APPROVAL TO DISCHARGE INTO STORM OR SANITARY SEWERS, MONITORING SEWERS FOR BACK-UPS, MONITORING FLOW AND DECHLORINATION RESULTS, DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL CODES.
 11. UNLESS SPECIFICALLY APPROVED OTHERWISE, ALL LATERAL CONNECTIONS TO EXISTING MAINS (4 INCH OR LARGER) THAT HAVE BEEN PREVIOUSLY TESTED AND TURNED INTO SERVICE SHALL UTILIZE A 'LIVE' TAP WITH AN APPROVED TAPPING SLEEVE OR SADDLE AND VALVE.
 12. ALL SERVICE TAP MATERIALS ARE TO BE FURNISHED BY THE CONTRACTOR. THE CEDAR RAPIDS WATER DIVISION WILL MAKE TAPS UP TO 12 INCHES USING CONTRACTOR SUPPLIED MATERIALS THAT COMPLY WITH CEDAR RAPIDS STANDARD SUPPLEMENTAL SPECIFICATION TO SUDAS. TAPS LARGER THAN 12 INCHES MUST BE MADE BY QUALIFIED CONTRACTOR WITH WATER DIVISION PERSONNEL ON SITE.
 13. WARRANTY: FOR THAT PORTION OF THE WATER SYSTEM IMPROVEMENTS THAT ARE TO BE ACCEPTED INTO THE PUBLIC WATER DISTRIBUTION SYSTEM, THE CONTRACTOR SHALL WARRANT THE WORKMANSHIP AND MATERIAL OF THE INSTALLED IMPROVEMENTS FOR A PERIOD OF FOUR (4) YEARS FROM DATE OF ACCEPTANCE AND SHALL FURNISH THE MUNICIPALITY WITH A MAINTENANCE BOND COVERING THE COST OF THE WATER IMPROVEMENTS FOR THAT PERIOD. NO WATER SERVICE SHALL BE PROVIDED PRIOR TO RECEIPT OF THE REQUIRED MAINTENANCE BOND.
 14. IF INSTALLATION OF A CASING PIPE IS REQUIRED, IT SHALL COMPLY WITH SUDAS STANDARD SPECIFICATIONS, SECTION 3020 – TRENCHLESS CONSTRUCTION, AND INCLUDE CASING SPACERS AND WATERTIGHT MECHANICAL RUBBER END SEALS.
 15. FOR ANY EXCAVATION WITHIN 6 FEET OF A MARKED LARGE WATER MAIN (16 INCH OR LARGER) THE CONTRACTOR IS REQUIRED TO SCHEDULE STAND-BY WATER DIVISION PERSONNEL FOR THAT WORK. CONTACT WATER ENGINEERING TO SCHEDULE WITH 24-HOUR MINIMUM NOTICE.
 16. FOR DIRECTIONAL DRILLING CROSSINGS OR INSTALLATIONS WITHIN 6 FEET OF A MARKED LARGE WATER MAIN (16 INCH OR LARGER) THE CONTRACTOR IS REQUIRED TO LOCATE AND EXPOSE (POTHOLE OR VAC EXCAVATE) THE WATER MAIN AND WATER DIVISION ARE TO BE ON SITE DURING THAT WORK. CONTACT WATER ENGINEERING TO SCHEDULE WITH 24-HOUR MINIMUM NOTICE.

DIVISION 8—TRAFFIC CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED TRAFFIC CONTROL PLANS TO THE ENGINEER FOR ALL STAGES OF WORK. WRITTEN NOTICE SHALL BE PROVIDED TO THE ENGINEER AT LEAST 48 HOURS IN ADVANCE OF ROADWAY CLOSURES AND STAGE TRANSITIONS.
2. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH SUDAS SECTION 8030 – TEMPORARY TRAFFIC CONTROL.

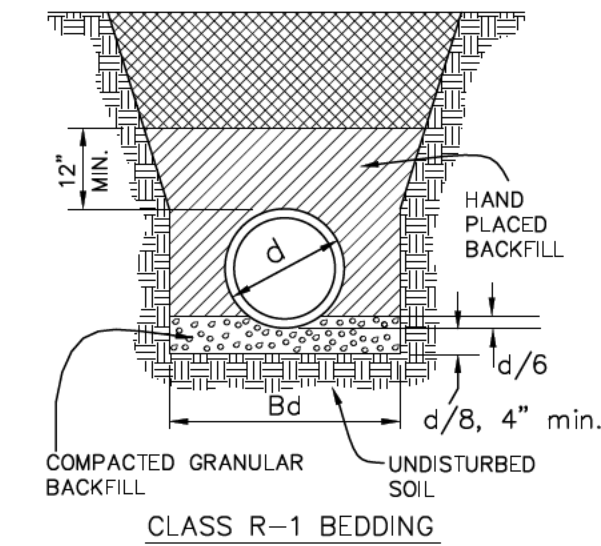
DIVISION 9—EROSION CONTROL NOTES

1. CONTRACTOR SHALL FURNISH AND MAINTAIN EROSION CONTROL AND WATER QUALITY SYSTEMS PER THE PLAN SWPPP, TO SATISFY THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN THE TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS. CONTRACTOR SHALL ALSO PREPARE, PROVIDE, AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN PER SUDAS 8040.
2. CONTRACTOR AND ALL SUBCONTRACTORS WORKING ON THE SITE SHALL SIGN THE NPDES PERMIT AS CO-PERMITTEES PRIOR TO CONDUCTING ANY LAND DISTURBING ACTIVITIES ON THE SITE.
3. CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL EXISTING AND CONSTRUCTED DRAINAGE CHANNELS AND DRAINAGE STRUCTURES. CONTRACTOR IS LIABLE FOR ALL DAMAGE TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN THE HANDLING OF STORM WATER FLOWS DURING CONSTRUCTION. EXTRA GRADING WORK NECESSARY TO MAINTAIN POSITIVE DRAINAGE WITHIN THE CONSTRUCTION LIMITS IS CONSIDERED INCIDENTAL TO CONSTRUCTION OR RELATED BID ITEMS.

STORM SEWER NOTES

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. JOHNSON COUNTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP OR DUAL WALL POLYETHYLENE PIPE UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS R-1 BEDDING AS SHOWN ON STANDARD ROAD PLAN SW-102. DUAL WALL POLYETHYLENE STORM SEWERS SHALL BE PROVIDED WITH CLASS F-3 BEDDING AS SHOWN ON STANDARD ROAD PLAN SW-103.
- 5) STORM SEWERS OUTSIDE OF THE PUBLIC STREET SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% SAINDARD PROCTOR DENSITY:
 - A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CLASS A CRUSHED STONE COMPACTED TO 95% STANDARD PROCTOR DENSITY. STORM SEWERS WITHIN PUBLIC STREET ROW SHALL BE BACKFILLED WITH GRANULAR TRENCH BACKFILL.
- 7) ALL RCP STORM SEWERS SHALL HAVE TONGUE AND GROOVE JOINTS WRAPPED WITH ENGINEERING FABRIC. DUAL WALL POLYETHYLENE STORM SEWERS SHALL HAVE SOIL TIGHT JOINTS.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) MAN-HOLE SHALL NOT HAVE STEPS
- 12) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.
- 13) ALL STORM SEWER STRUCTURES ARE TO BE WATER TIGHT WITH WATER STOP USED IN CONSTRUCTION JOINT AND PENETRATIONS. RISERS SHALL BE LADTECH HDPE RISERS OR CRETEX PRO-RING.

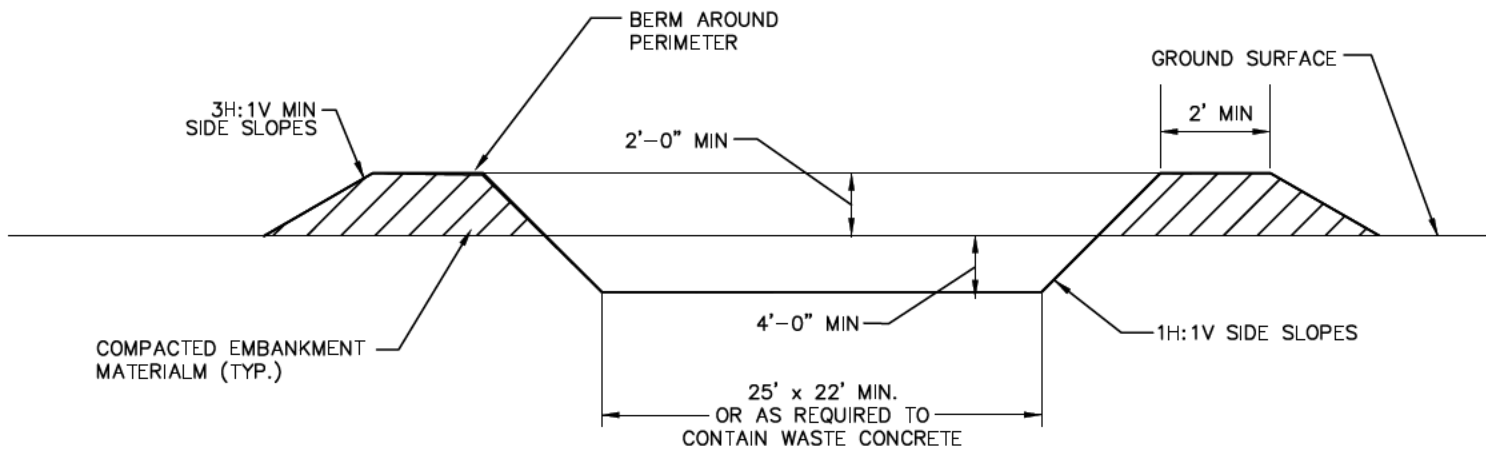
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



- NOTES:
1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
 2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
 3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
 4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
 5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bd.

ID INCHES	Bd FEET & INCHES
12	2-3
15	2-9
18	3-0
21	3-3
24	3-6
27	4-0
30	4-3
36	4-9
42	5-6
48	6-3

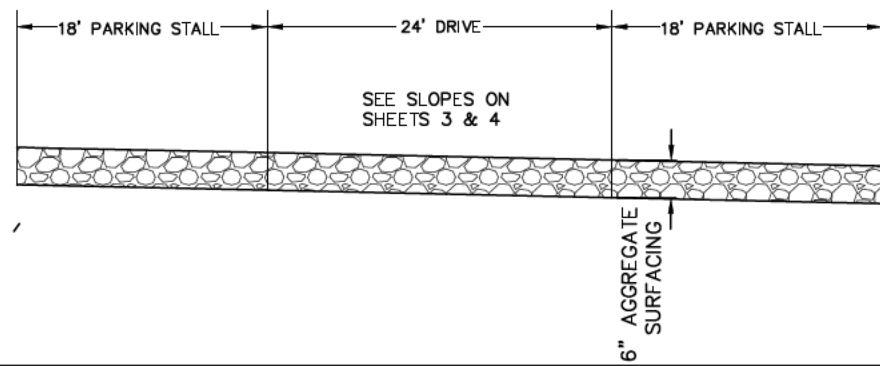
CONCRETE WASHOUT AREA DETAIL
N.T.S.



NOTES:

1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE. REFERENCED DETAILS.
2. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
3. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
4. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE COUNTY.

TYPICAL DRIVE/PARKING SECTION
N.T.S.



1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
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Date	Revision
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TEMPORARY CONCRETE
BATCH PLANT
LOTS 1 & 2, JOCO 50

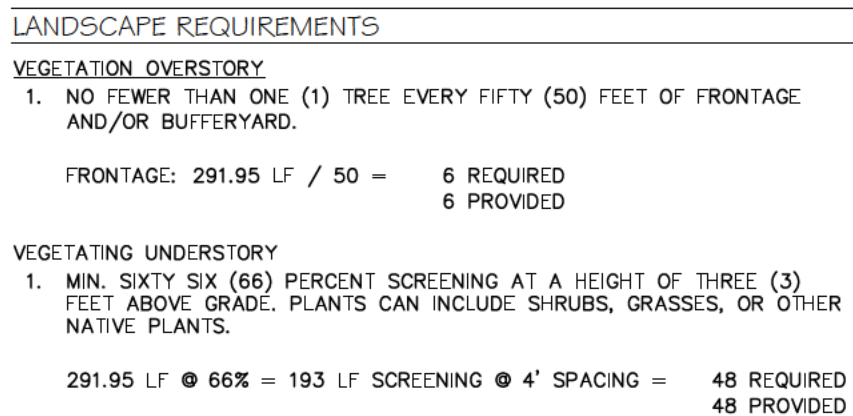
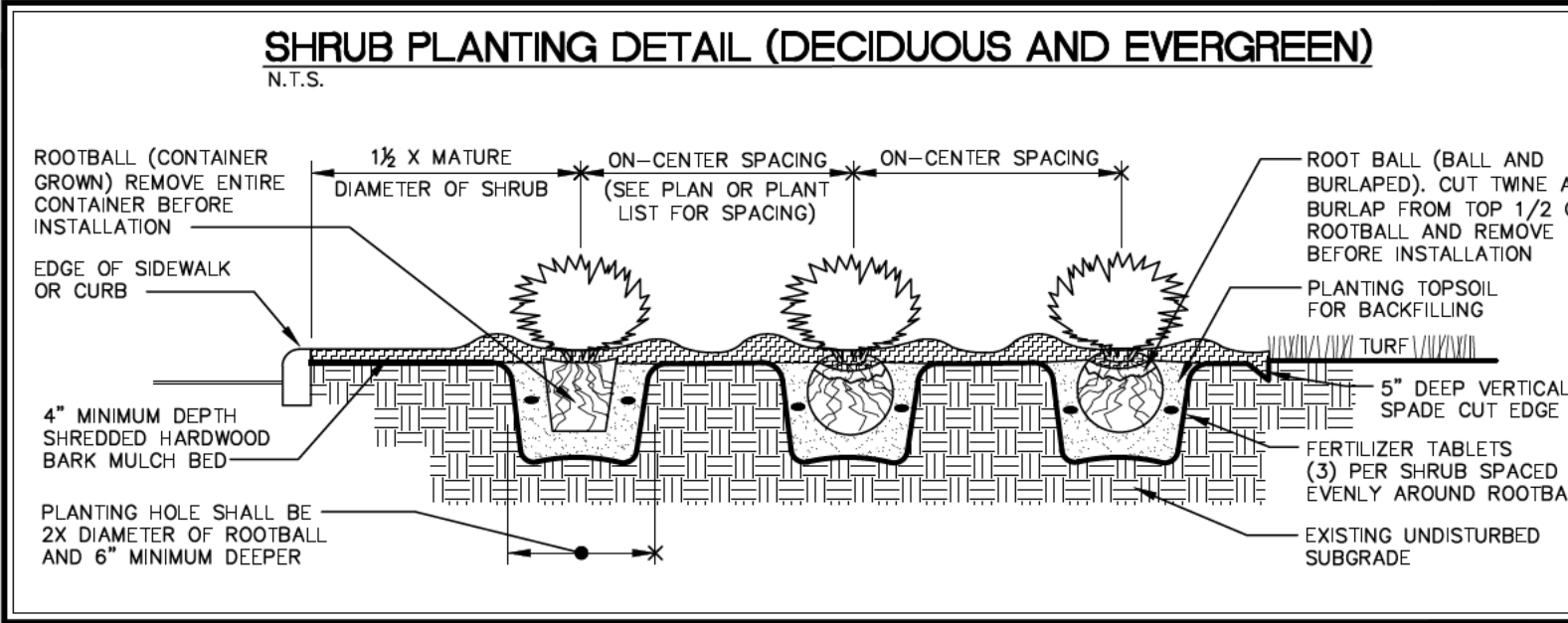
MMS CONSULTANTS, INC.

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LANDSCAPE NOTES:

- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
- 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IN CONFLICT OCCURS.
- 3 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AVERAGE STANDARD FOR NURSERY STOCK, ANSI Z60 - 1990, OR MOST RECENT ADDITION.
- 4 - LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 5 - ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GROUNDS 3" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. PRIOR TO DRAINING, CONTRACTOR IS RECOMMENDED TO VISIT SITE.
- 6 - FINISH GROUNDS OF PLANT BED AND SOIL AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- 7 - ALL SHRUB AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3" DEEP BED OF DOUBLE SHREDDED HARDWOOD DARK MULCH AND AN APPLICATION OF A PRE-EXISTENT (TREES OR APPROVED EQUIVA) FOR WEED CONTROL.
- 8 - LANDSCAPE EDGING BETWEEN DARK MULCH AND LAWN AREAS SHALL BE A SPARE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL, AND ACCORDING TO DETAILS.
- 9 - STAKING SHALL BE REQUIRED ON ALL TREES (EXCEPT MULTI-STEM VARIETIES) STAKE (UNUS 1" OR 2") 6" STEEL T" POST PLACED OUTSIDE OF ROOTBALL AND ADJACENT TO TRUNK OF TREE WITH 1/8" GAUGE CABLE AND WOODEN NAIL. TREE STAKES:
- 10 - ALL TREES PRE-EXISTING IN LAWN AREAS AND N PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TYNE OR APPROVED METHOD.
- 11 - ALL TREES PRE-EXISTING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 1' DIA. RING OF DOUBLE SHREDDED HARDWOOD DARK MULCH AT A 3" INCH DEPTH.
- 12 - ALL LANDSCAPE PLANTINGS AND SOIL AREAS SHALL BE THOROUGHLY WATERED PRIOR TO INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. THEREAFTER, WATERING SHALL BE DONE ON A DAILY BASIS UNTIL ROOTED IN.
- 13 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS REGARDING LANDSCAPE CONSTRUCTION TECHNIQUES.
- 14 - ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
- 15 - KEEP ALL REMAINING AREAS WITH DOT URBAN MIX.



THE FOLLOWING SEED MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF URBAN AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. THE APPLICATION RATE SHALL BE 4 POUNDS PER 1,000 SQUARE FEET (2 ka per 100 m².)

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL NOTIFY OWA ONE CALL AT 811 PRIOR TO ANY EXCAVATION NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE PROJECT AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, INCLUDING REPAIRS, MAINTENANCE, AND RELOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTENCE OF SUCH CAUTIONS, WHETHER SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE. THEREFO, NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ANY DAMAGE TO EXISTING UTILITIES.

