

JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

417 S. CLINTON ST., IOWA CITY, IOWA 52240

ARCHITECT OF RECORD

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Iowa City, Iowa 52240
319.338.7878

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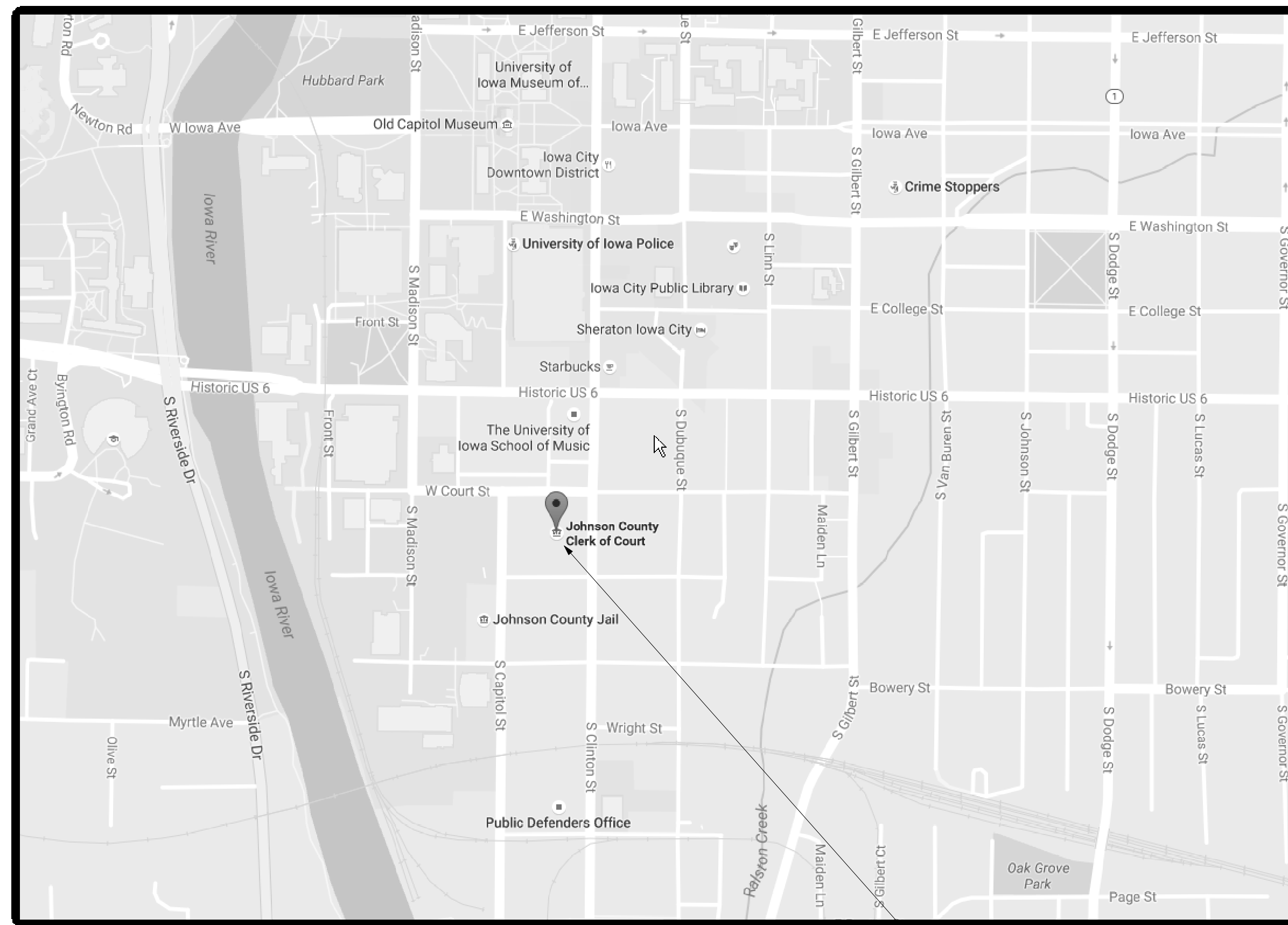
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NEUMANN MONSON ARCHITECTS

VICINITY MAP



SITE LOCATION
417 S CLINTON ST
IOWA CITY, IA 52240

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2021 INTERNATIONAL BUILDING CODE

CODE INFORMATION:
THIS PROJECT INCLUDES RENOVATIONS WITHIN EXISTING SPACES WITHIN THE COURTHOUSE. THE WORK SCOPE INCLUDES DEMOLITION AND RENOVATIONS.

THE BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTORICAL PLACES.

OCCUPANCY:
B - OFFICE
A3 - COURTROOMS

NON-SEPARATED OCCUPANCIES

FLOOR/CEILING ABOVE AND BELOW; MAINTAIN 1HR OCCUPANCY SEPARATION

ASSUMED BUILDING CONSTRUCTION TYPE: 3B

BUILDING IS NON-SPRINKLERED

MAX. COMMON PATH OF EGRESS; A OCCUPANCY = 75 FT

LIST OF ABBREVIATIONS

@	AT	MAS	MASONRY
AC	ACOUSTICAL COMPONENT	MAX	MAXIMUM
ACST	ACOUSTICAL	MECH	MECHANICAL
ADJ	ADJACENT OR ADJUSTABLE	MFR	MANUFACTURER
AFF	ABOVE FINISH FLOOR	MIN	MINIMUM
AL	ALUMINUM	MIRR	MIRROR OR MIRRORED
ALT	ALTERNATE	MTL	METAL
ANOD	ANODIZED	MTLP	METAL PANEL
APOC	ARCHITECTURAL PRECAST CONCRETE	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NO	NUMBER
ARCH	ARCHITECTURAL	NOM	NOMINAL
ATC	ACOUSTICAL TILE CEILING	NTS	NOT TO SCALE
AV	AUDIO VISUAL	OC	ON CENTER
AW	ARCHITECTURAL WOODWORK	OD	OUTSIDE DIAMETER OR DIMENSION
BD	BOARD	OF/OI	OWNER FURNISHED, CONTRACTOR INSTALLED
BEJ	BRICK EXPANSION JOINT	OF/OI	OWNER FURNISHED, CONTRACTOR INSTALLED
BLDG	BUILDING	OPNG	OPENING
BLKG	BLOCKING	OPP	OPPOSITE
BO	BOTTOM OF	PCC	PRECAST CONCRETE
BRG	BEARING	PCONC	POLISHED CONCRETE
CG	CORNER GUARD	PEF	POURED EPOXY FLOORING
CIPC	CAST-IN-PLACE CONCRETE	PL	PLATE
CJ	CONTROL JOINT	PLAM	PLASTIC LAMINATE
CL	CENTER LINE	PLBG	PLUMBING
CLR	CLEAR	PLYWD	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PNT	PAINT(ED)
COL	COLUMN	PR	PAIR
CONC	CONCRETE	R	RISER
CONT	CONTINUOUS	RB	RESILIENT BASE
CPT	CARPETING / CARPET TILE	ROP	REFLECTED CEILING PLAN
CIW	CURTAIN WALL	REF	REFERENCE
DBL	DOUBLE	REFR	REFRIGERATOR
DEMO	DEMOLITION / DEMOLISH	REINF	REINFORCE OR REINFORCING
DIA	DIAMETER	REQD	REQUIRE(D)
DN	DOWN	RF	RESILIENT FLOORING
DR	DOOR	RM	ROOM
DWG	DRAWING(S)	RO	ROUGH OPENING
EA	EACH	RST	REINFORCING STEEL
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	SATC	SUSPENDED ACOUSTICAL TILE CEILING
EJ	EXPANSION JOINT	SCHED	SCHEDULE
EL	ELEVATION	SCONC	SEALED CONCRETE
ELEC	ELECTRICAL	SF	SQUARE FOOT OR FEET
ELEV	ELEVATOR	SHT	SHEET
EQ	EQUAL	SHTHG	SHEATHING
EQUIP	EQUIPMENT	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SIPS	STRUCTURAL INSULATED PANELS
EX	EXPOSED	SLNT	SEALANT
EX. FCU	EXISTING FAN COIL UNIT	SLNT/BR	SEALANT AND BACKER ROD
EXH	EXHAUST	SOG	SLAB-ON-GRADE
EXIST	EXISTING	SST	STAINLESS STEEL
EXP	EXPANSION	STD	STANDARD
EXR. FCU	EXIST TO REMAIN FAN COIL UNIT	STF	STOREFRONT
EXT	EXTERIOR	STL	STEEL
FACP	FIRE ALARM CONTROL PANEL	STRUCT	STRUCTURAL
FCU	FAN COIL UNIT	SUSP	SUSPENDED
FD	FLOOR DRAIN	T	TREAD OR TILE
FDC	FIRE DEPARTMENT CONNECTION	T&B	TOP AND BOTTOM
FE	FIRE EXTINGUISHER ON BRACKET	TAC	TACKBOARD
FFC	FIRE EXTINGUISHER CABINET	TELECOM	TELECOMMUNICATION(S)
FF	FINISHED FACE OR FLOOR	TOB	TOP OF BEAM
FIN	FINISH	TOC	TOP OF CONCRETE/COUNTER
FLEX	FLEXIBLE	TOF	TOP OF FRAME
FLR	FLOOR	TOJ	TOP OF JOIST
FTG	FOOTING	TOM	TOP OF MASONRY
FURN	FURNITURE/FURNISHINGS	TOS	TOP OF SLAB OR STEEL
G	GROUT	TOW	TOP OF WALL
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	UON	UNLESS OTHERWISE NOTED
GYP	GYPSPUM	VAR	VARIES
GYP BD	GYPSPUM BOARD	VERT	VERTICAL
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	W/	WITH
HT	HEIGHT	W/O	WITHOUT
IB	INTEGRAL BASE	WB	WALL BUMPER
INSUL	INSULATION	WC	WALL COVERING
INT	INTERIOR	WD	WOOD
JT	JOINT	WDP	WOOD PANEL

REFERENCE INDICATIONS

DETAIL SECTION	WALL TYPE
DETAIL IDENTIFICATION	G1
SHEET WHERE SHOWN	DOOR NUMBER
ELEVATION	1132 A
ELEVATION IDENTIFICATION	WINDOW TAG
SHEET WHERE SHOWN	10
WALL SECTION	ROOF TAG
SECTION IDENTIFICATION	R1
SHEET WHERE SHOWN	FLOOR TAG
BUILDING SECTION	F1
SECTION IDENTIFICATION	ADDENDUM TAG
SHEET WHERE SHOWN	# Issued by
	ELEVATIONS
	Name
	Elevation
	ROOM IDENTIFICATION
	Room name
	ROOM NUMBER
	CASEWORK ELEVATION TAG
	AWS SERIES
	24" 24" 36" DEPTH HEIGHT WIDTH
	NOTE: HEIGHT IS TO TOP OF COUNTER

MATERIAL SYMBOLS

	GENERAL FILL		STEEL
	BATT INSULATION		PLYWOOD
	RIGID INSULATION		GYPSPUM BOARD
	FOAM-IN-PLACE INSULATION		GROUT
	GRANULAR DRAINAGE FILL		BRICK
	CONCRETE		CONCRETE MASONRY UNIT
	WOOD BLOCKING		WOOD SHIM

PROJECT NAME

**JOHNSON COUNTY COURTHOUSE
THIRD LEVEL OFFICE RENOVATION**

OWNER

JOHNSON COUNTY
913 South Dubuque Street
Iowa City, Iowa 52240

PROJECT NO. 18.112

ISSUE

DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS

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SHEET NAME

TITLE SHEET AND DRAWING INDEX

SHEET NUMBER

G-001.5

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Signature _____ Date _____
License renewal date: _____

Pages or sheets covered by this seal: _____

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature _____ Date _____
License renewal date: _____

Pages or sheets covered by this seal: _____

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature _____ Date _____
License renewal date: _____

Pages or sheets covered by this seal: _____

TB Version: 06

DEMOLITION KEYNOTES

KEY VALUE	KEYNOTE TEXT
C9	EXIST. HATCH TO REMAIN
C12	EXIST. PLASTER CEILING TO REMAIN
D4	REMOVE STUD WALL
D5	REMOVE PORTION OF WALL FOR NEW OPENING. SEE A-SHEETS FOR SIZE AND DETAILS. INSTALL LINTEL, JAMB, FRAMING, AND INFILL FLOOR
D7	REMOVE CEILING GRID AND TILE
D15	REMOVE CARPET AND ADHESIVE AND PAD AND TACK STRIPS
D23	REMOVE WOOD BASE AND SHOE AND WOOD NAILER; SALVAGE FOR REUSE, TYP. ALL WALLS.
D25	REMOVE BOOKSHELVES
D31	REMOVE MINI BLINDS AT ALL EXTERIOR WINDOWS; PATCH FASTENER HOLES, TYP.
D52	REMOVE SHELVES, BRACKETS, AND WALL STANDARDS; PATCH FASTENER HOLES
D53	REMOVE WOOD WALL PANELS AND FURRING
D55	REMOVE AND REINSTALL CLERESTORY WINDOWS AND WOOD TRIM
D56	REMOVE VINYL TILE FLOORING AND PREP FOR NEW TILE FLOORING
D57	REMOVE AND DISPOSE OF FURNITURE; CHAIRS TO BE REMOVED BY OWNER
D59	REMOVE WD FRAMING, SUPPORT ANGLES AND SUSPENSION WIRES
D68	REMOVE AND REINSTALL COATHOOKS ON WALL
D69	REMOVE PAINTED WD CASINGS AT JAMBS AND HEAD
D70	REMOVE AND REPLACE PLINTH BLOCKS; MATCH HISTORIC PROFILE FOR NEW BLOCKS
D82	REMOVE AND REINSTALL WALL MOUNTED SINK AND FLOOR MOUNTED TOILET
D83	REMOVE TOILET ACCESSORIES
D85	REMOVE DOOR AND FRAME AND RELOCATE; SEE DOOR 03P ON FLOOR PLAN
D86	REMOVE SS COUNTER

THIRD LEVEL GENERAL DEMOLITION NOTES

- REMOVE ALL MEPT SYSTEM COMPONENTS WITHIN AREAS OF THE WORK OF THIS CONTRACT THAT ARE NOTED AS ABANDONED OR TO BE ABANDONED BY THE WORK OF THIS CONTRACT.
- REMOVE AND SALVAGE ALL VISUAL DISPLAY BOARDS INCLUDING MARKERBOARDS, CHALKBOARDS, TACKBOARDS, AND TACKSTRIPS ON WALLS TO BE REMOVED.
- REFER TO MECHANICAL PLANS FOR LOCATIONS OF ADDITIONAL OPENINGS TO BE CUT IN EXISTING WALLS FOR NEW DUCTWORK AND PIPING.
- CAREFULLY REMOVE AND PROTECT ALL ITEMS TO BE REUSED.
- REMOVE CARPET THROUGHOUT WORK AREA; REMOVE CARPET PAD, TACK STRIPS, AND ADHESIVE FROM SUBSTRATE COMPLETELY.
- REPAIR AND PATCH WALLS AND CONCRETE FLOOR SLAB WHERE DAMAGED OR UNFINISHED RESULTING FROM REMOVAL OF CASEWORK, WALL, FIXTURES, OR ANY OTHER ITEMS REQUIRED TO BE REMOVED BY THIS CONTRACT.
- WHERE REMOVAL OF ITEMS REQUIRED BY THIS CONTRACT, INCLUDING PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOM ITEMS, LEAVES HOLES IN THE FLOORING, FLOOR SLAB, WALLS OR ROOF, THE CONTRACTOR SHALL PATCH ALL HOLES LEFT FROM REMOVAL OF THESE ITEMS TO MATCH ADJACENT ASSEMBLY AND FINISH.
- WHEREVER DEMOLISHED WALLS ABUT WALLS TO REMAIN, PATCH AND FINISH TO MATCH ADJACENT SURFACE. INFILL WOOD TRIM.
- REMOVE THE EXISTING TILE AND GRID TO INSTALL NEW TILE AND GRID IN ALL AREAS INDICATED TO RECEIVE NEW CEILING TILE/GRID ON THE RCP AND/OR ROOM FINISH SCHEDULE.
- REMOVE AND REINSTALL WOOD BASE SHOE FOR CARPET INSTALLATION.
- REMOVE AND SALVAGE WOOD TRIM FROM WALLS TO BE REMOVED.
- REMOVE AND REINSTALL WOOD TRIM NECESSARY TO ACHIEVE WALL REFINISHING.

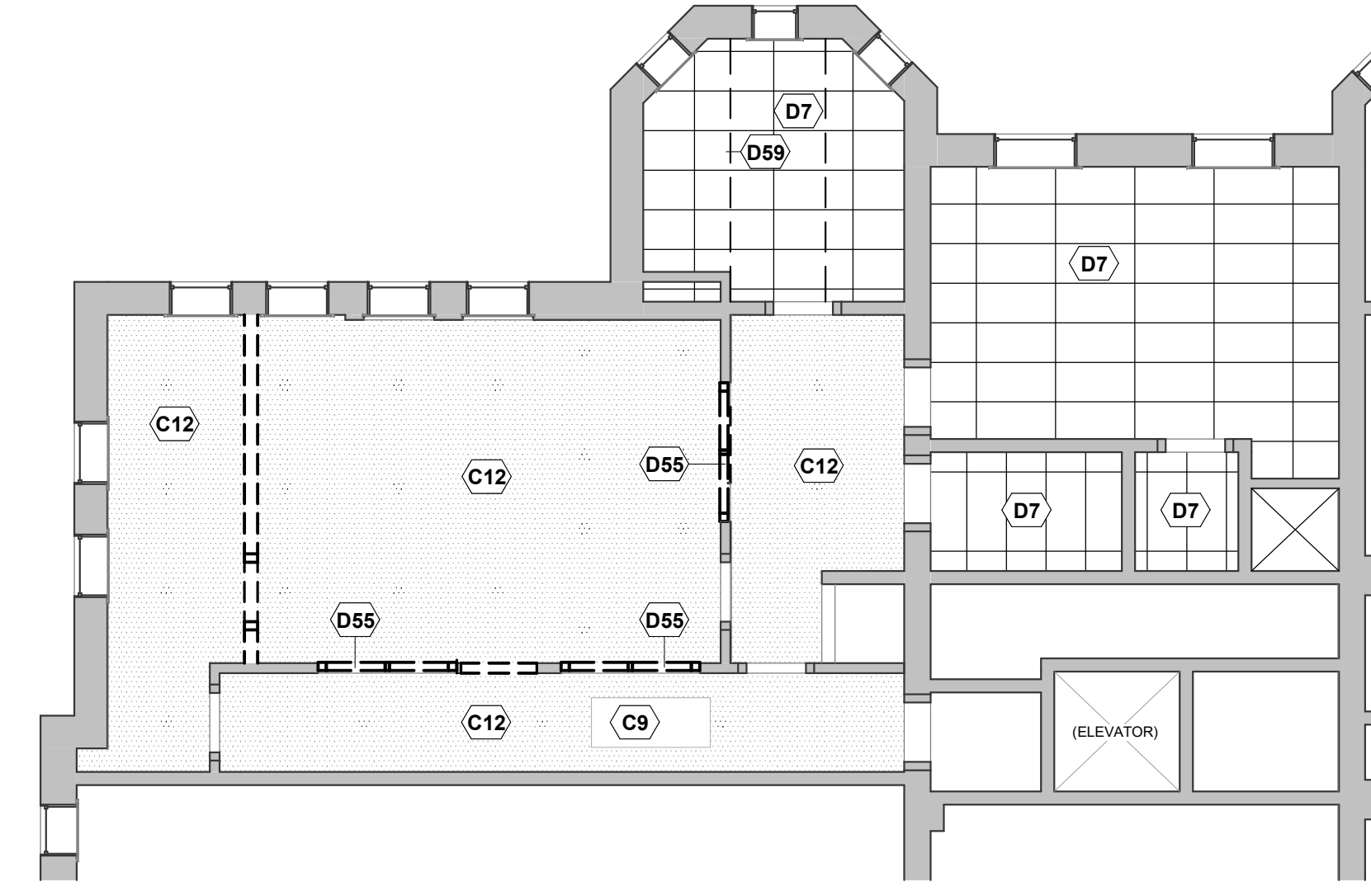
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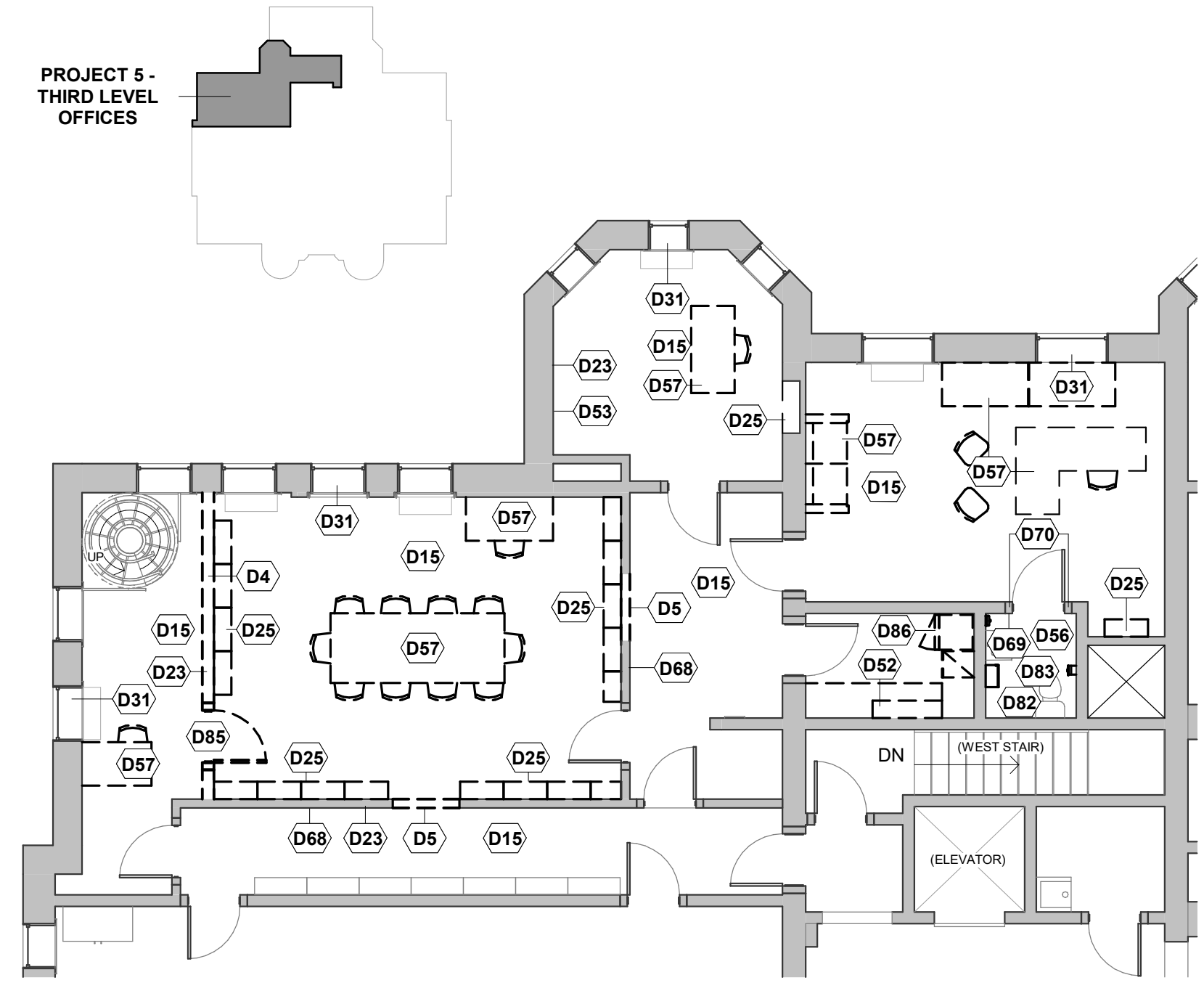
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NEUMANN MONSON ARCHITECTS



B1 THIRD LEVEL RCP DEMOLITION
 1/8" = 1'-0"



B4 THIRD LEVEL DEMOLITION PLAN
 1/8" = 1'-0"

PROJECT NAME
JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

OWNER
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SHEET NAME
THIRD LEVEL FLOOR PLAN AND RCP DEMOLITION

SHEET NUMBER
AD-101.5

DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS

THIRD LEVEL GENERAL FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY, UNLESS OTHERWISE NOTED.
- WALLS TO BE TYPE L4.3, UNLESS OTHERWISE NOTED.
- REPAIR AND PATCH CONCRETE FLOOR WHERE DAMAGED OR UNFINISHED RESULTING FROM DEMOLITION WORK.
- WHEREVER DEMOLITION OF WALLS, CEILINGS, FLOORS, CASEWORK, OR OTHER ITEMS RESULTS IN EXPOSED, UNFINISHED EDGES, PLANES, OR FACES OF ADJOINING WALLS, CEILINGS, FLOORS, ETC., THESE UNFINISHED ELEMENTS SHALL BE REPAIRED, PATCHED AND FINISHED WITH LIKE/COMPATIBLE MATERIALS AS REQUIRED TO MATCH ADJACENT SURFACE, UNLESS OTHERWISE NOTED IN THE DOCUMENTS.
- WHERE REMOVAL OF ITEMS REQUIRED BY THIS CONTRACT, INCLUDING PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOM ITEMS, LEAVES HOLES IN THE EXISTING WALLS, FLOORING, FLOOR SLAB, CEILINGS, AND/OR ROOF DECK, CONTRACTOR SHALL PATCH ALL HOLES LEFT FROM REMOVAL OF THESE ITEMS TO MATCH ADJACENT ASSEMBLY AND SURFACE PRIOR TO REFINISHING.
- EXTEND WALL FRAMING AND GYPSUM BOARD TO BOTTOM OF CEILING FRAMING ABOVE, UNLESS NOTED OTHERWISE. ASSUMED FRAMING HEIGHT OF 13'-0".
- REFINISH AND REINSTALL ALL SALVAGED WOOD TRIM.
- REFINISH ALL EXISTING WOOD TRIM FOR UNIFORM APPEARANCE. REMOVE AND REINSTALL ALL HARDWARE, ETC. TO ACHIEVE THE WORK.

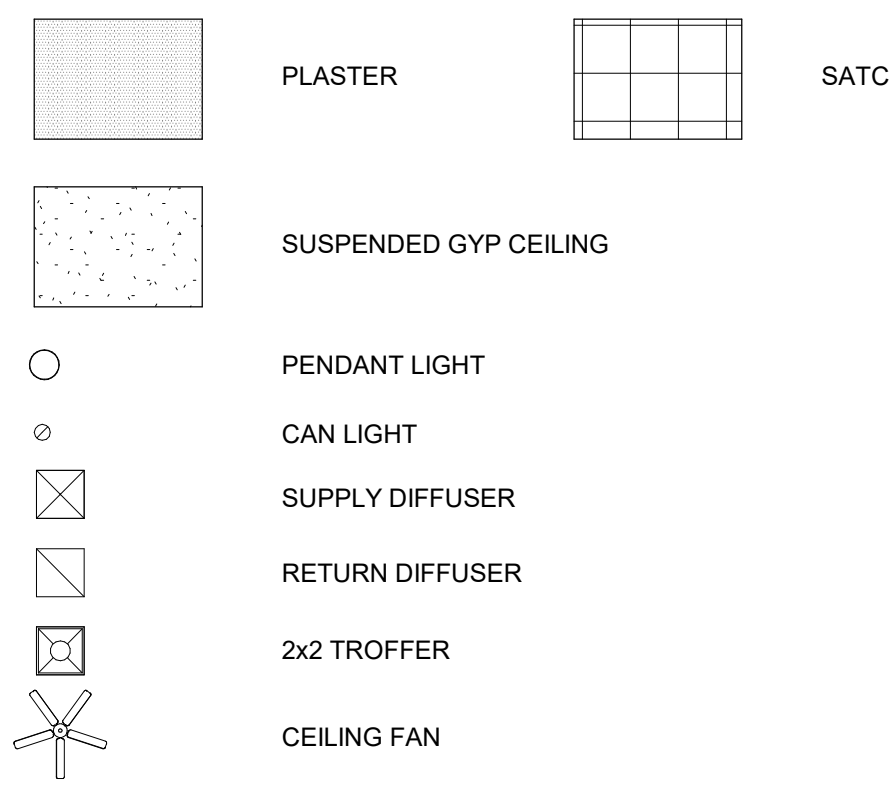
PLAN KEYNOTES

- | | |
|------------|---|
| KEY | KEYNOTE TEXT |
| F1 | CONSTRUCT KNEE WALL FULL PERIMETER OF EXTERIOR WALL; SEE DETAILS ON A-501.5 |
| F2 | REPLACE WOOD FLOOR BOARDS WHERE WALL WAS REMOVED; NEW BOARDS SHALL MATCH LENGTH AND PATTERN OF EXISTING |
| F3 | PROVIDE WINDOW FILM OVER EXTERIOR GLAZING; SEE SPEC SECTION 08 8713 |
| F4 | EXISTING DOOR AND FRAME SALVAGED AND REINSTALLED |

CEILING KEYNOTES

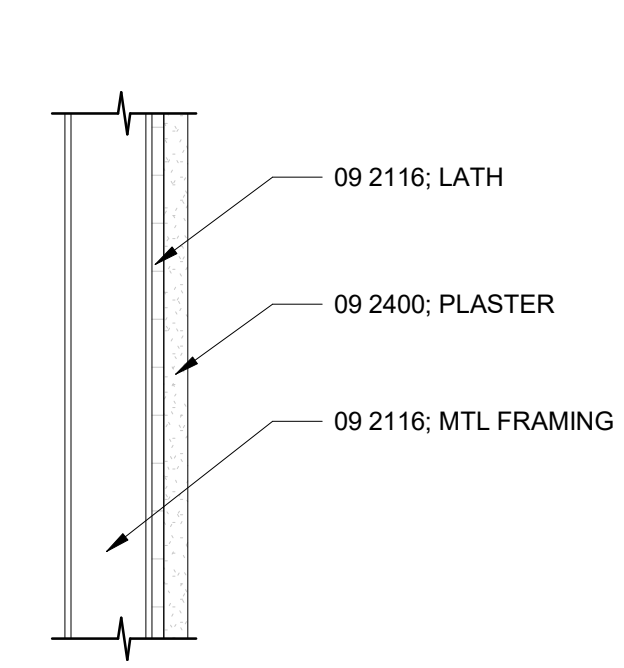
- | | |
|------------|---|
| KEY | KEYNOTE TEXT |
| C9 | EXIST. HATCH TO REMAIN |
| C11 | PATCH AND FINISH PLASTER CEILING TO MATCH ADJACENT FINISH |

CEILING LEGEND



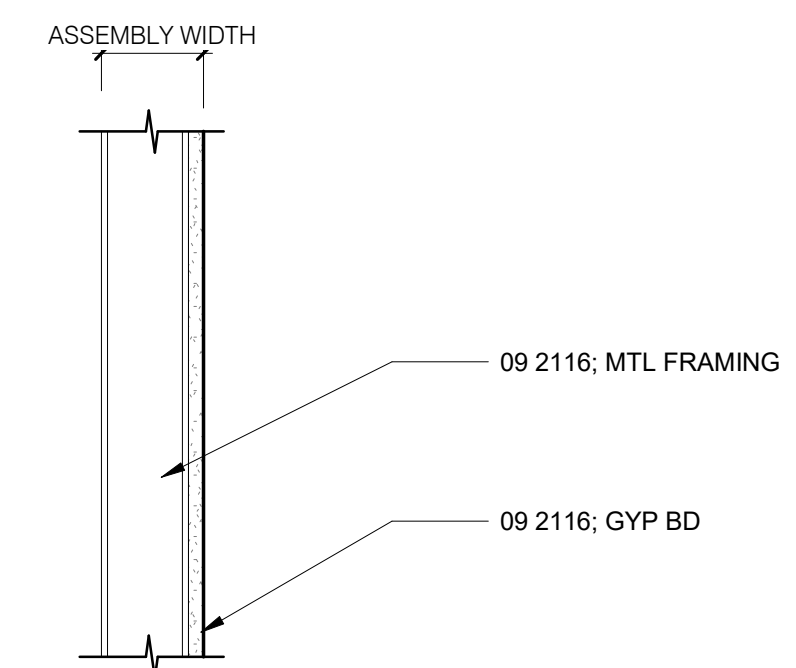
RCP GENERAL NOTES

- CONTRACTOR TO REVIEW CEILING LAYOUT AS SHOWN AND NOTIFY DESIGN PROFESSIONAL OF ANY CONFLICTS WITH STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING OR FIRE PROTECTION SYSTEMS, ETC. BEFORE PROCEEDING WITH CONSTRUCTION.
- LOCATE DOWNLIGHTS AND WALL WASHERS IN CENTER OF CEILING TILE. IF CONFLICT OCCURS, NOTIFY DESIGN PROFESSIONAL PRIOR TO PROCEEDING.
- ALL EXPOSED CEILING EDGES SHALL BE FINISHED.
- CEILINGS SHALL BE CENTERED WITHIN ROOM IN EACH DIRECTION, UNLESS NOTED OTHERWISE.
- CEILING ELEVATIONS ARE REFERENCED FROM THE FINISHED FLOOR OF THE ROOM IN WHICH IT IS INSTALLED, UNLESS NOTED OTHERWISE.
- FOR CLARITY PURPOSES ONLY CEILING MOUNTED DEVICES, THE LOCATION OF WHICH ARE CRITICAL FOR ARCHITECTURAL COORDINATION PURPOSES, ARE SHOWN. CONTRACTOR SHALL COORDINATE LOCATION OF ALL OTHER CEILING MOUNTED DEVICES AS SHOWN ON OTHER DRAWINGS.
- IT IS THE DESIGN INTENT TO INSTALL NEW CEILING TILE AND GRID AT THE SAME ELEVATION AS THE EXISTING. REPAIR ALL GYP BD OR PLASTER SURFACES AFTER DEMOLITION OF EXISTING GRID



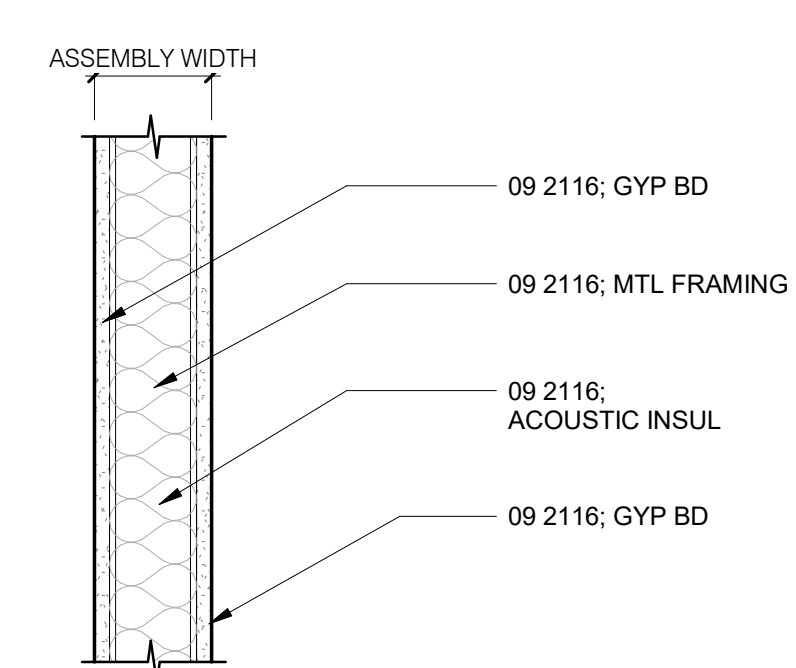
L1.X METAL STUD ASSEMBLIES W/ LATH AND PLASTER

Mark	Stud Size	Assembly Width	UL Design Rating	Comments
L1.2	2 1/2"	4"		



L2.X METAL STUD ASSEMBLIES W/ 1 LAYER GYP BD

Mark	Stud Size	Assembly Width	UL Design Rating	Comments
L2.2	2 1/2"	3 1/8"		

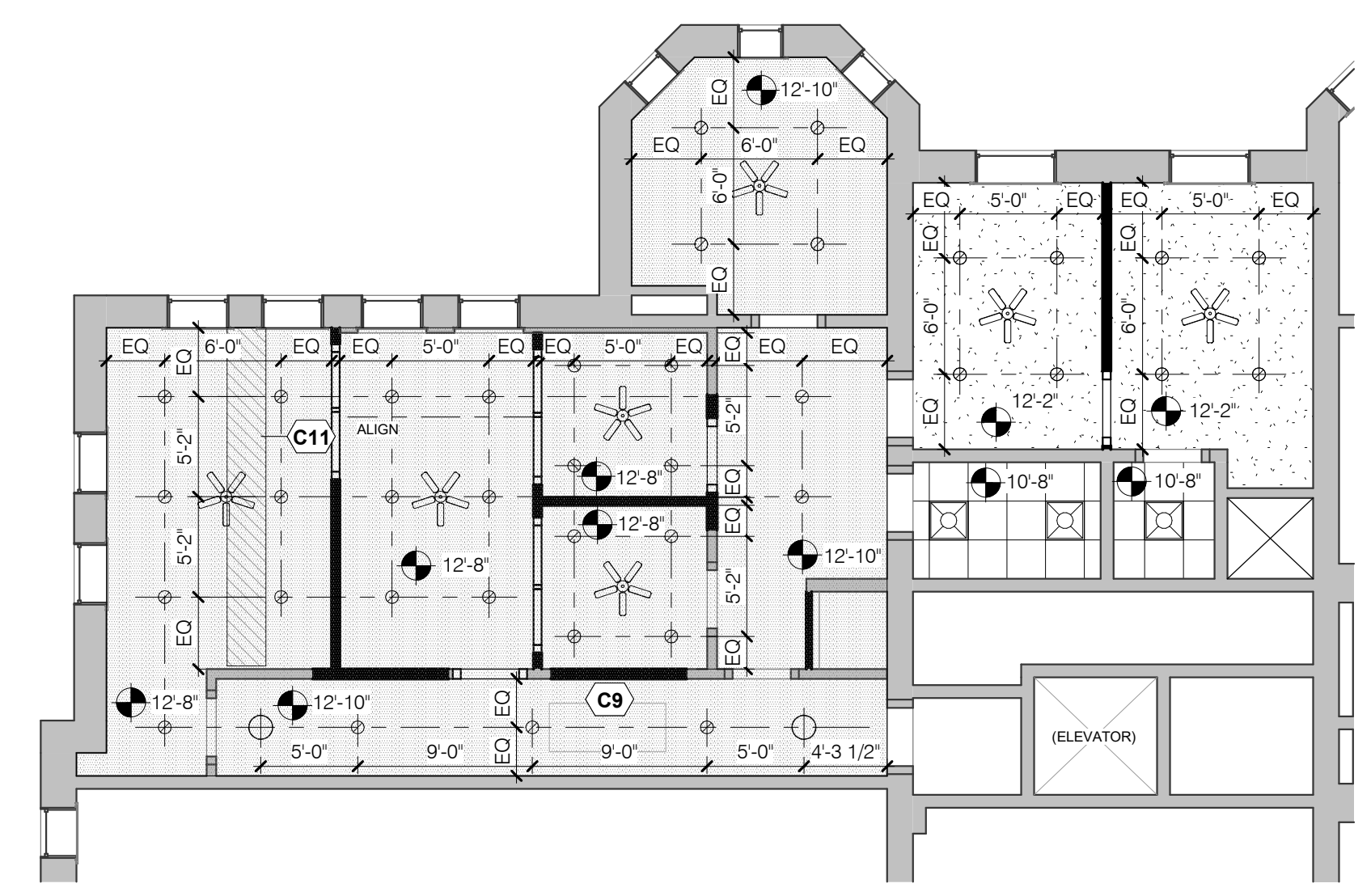


L4.X METAL STUD ASSEMBLIES W/ 1 LAYER GYP BD EACH SIDE AND ACOUSTIC INSULATION

Mark	Stud Size	Assembly Width	UL Design Rating	Comments
L4.3	3 5/8"	4 7/8"		

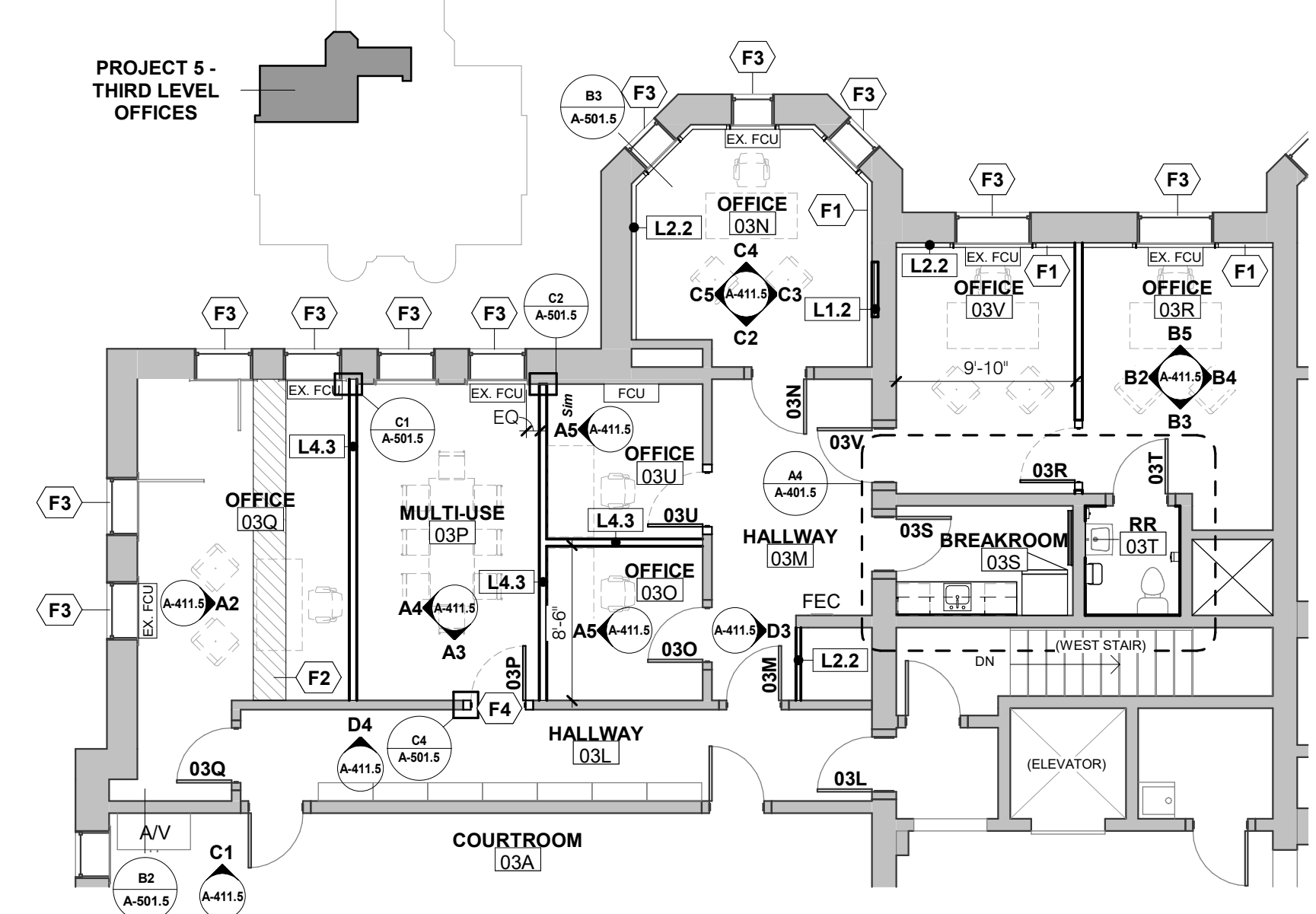
B1 THIRD LEVEL RCP

1/8" = 1'-0"



B4 THIRD LEVEL FLOOR PLAN

1/8" = 1'-0"



TB Version 10

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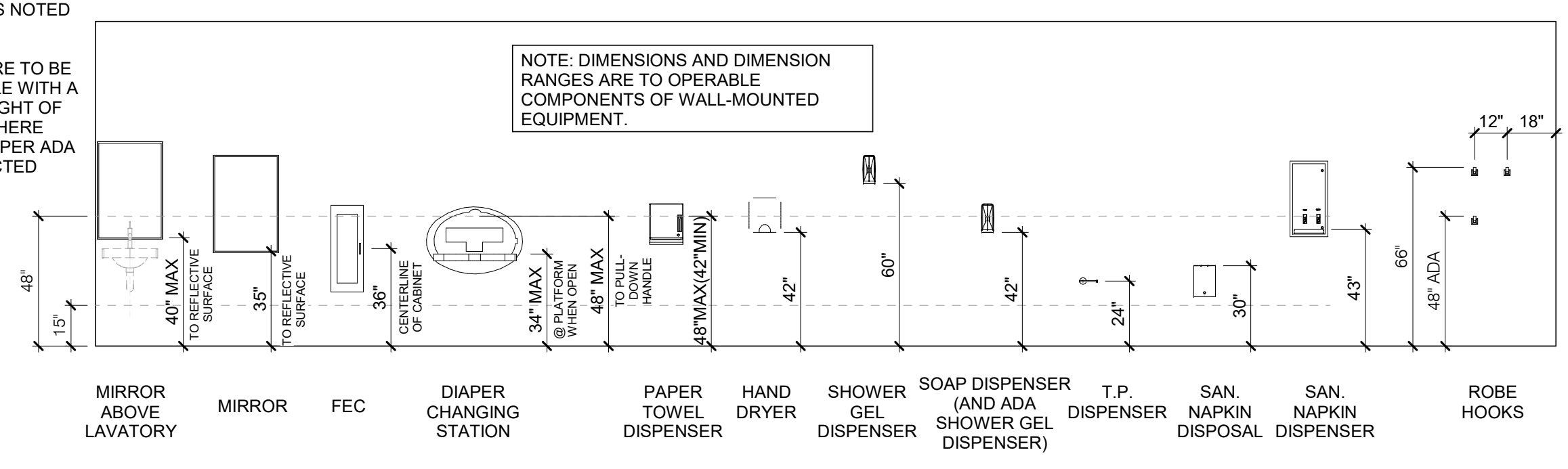
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NEUMANN MONSON ARCHITECTS

MOUNTING HEIGHT SHOWN ARE TYPICAL, UNLESS NOTED OTHERWISE.

ALL ACCESSORIES ARE TO BE DISABLED ACCESSIBLE WITH A MAXIMUM REACH HEIGHT OF 48" A.F.F. (MIN. 15") WHERE UNOBSTRUCTED, OR PER ADA 308 WHERE OBSTRUCTED

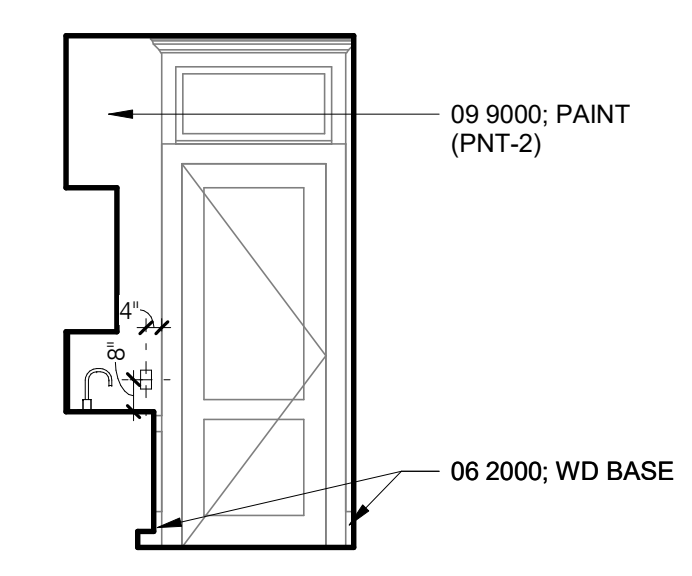
NOTE: DIMENSIONS AND DIMENSION RANGES ARE TO OPERABLE COMPONENTS OF WALL-MOUNTED EQUIPMENT.



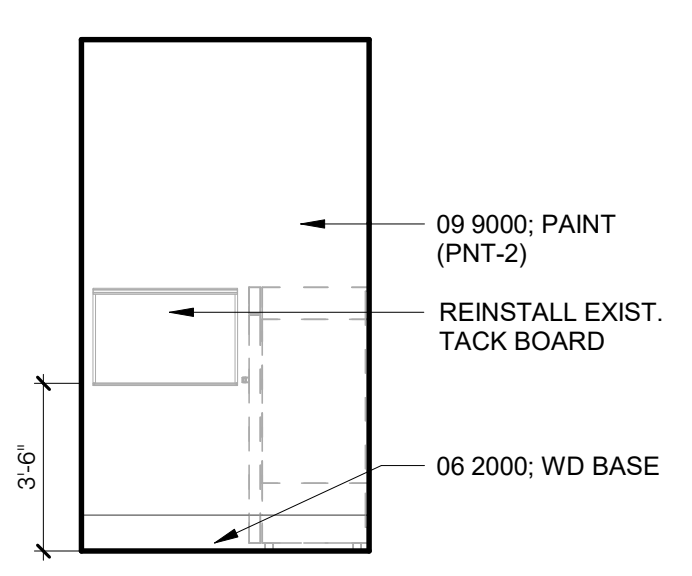
PUBLIC USE AREA MOUNTING HEIGHTS

TYPICAL MOUNTING HEIGHTS

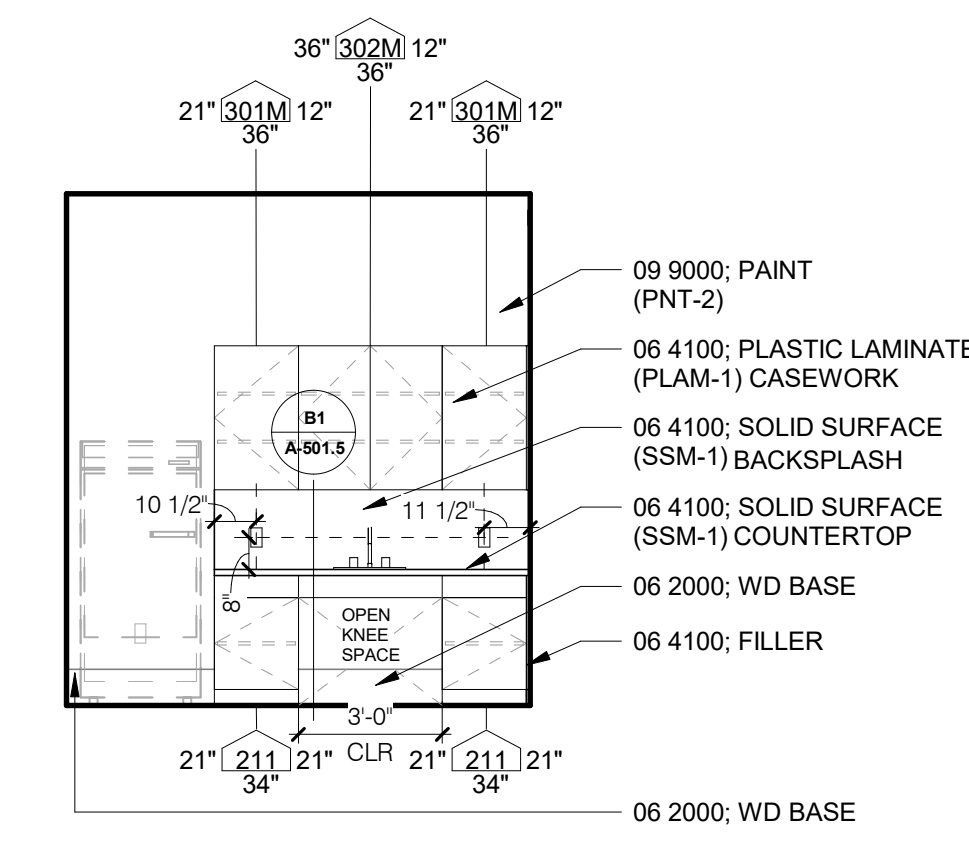
1/4" = 1'-0"



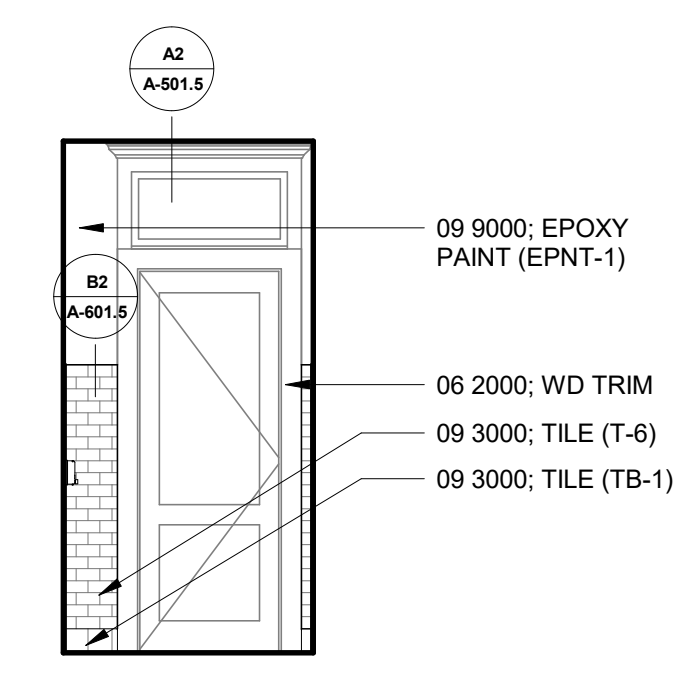
C3 BREAKROOM 03S - SOUTH
1/4" = 1'-0"



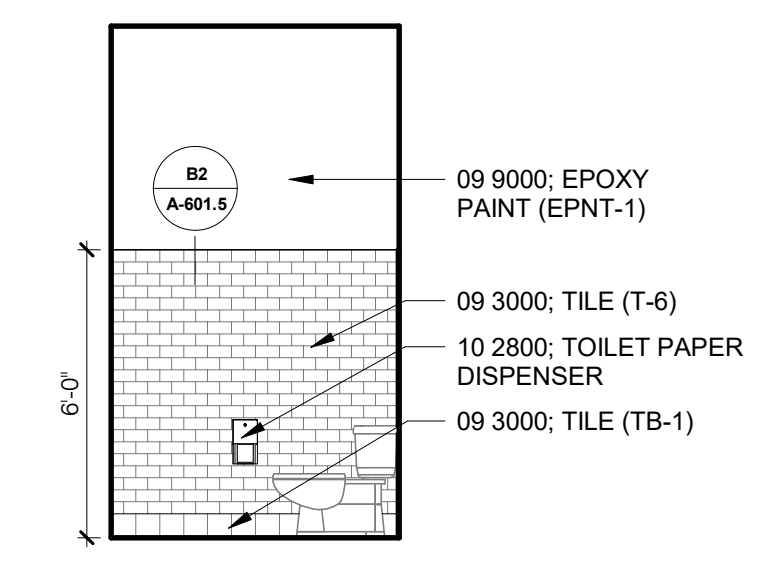
C4 BREAKROOM 03S - NORTH
1/4" = 1'-0"



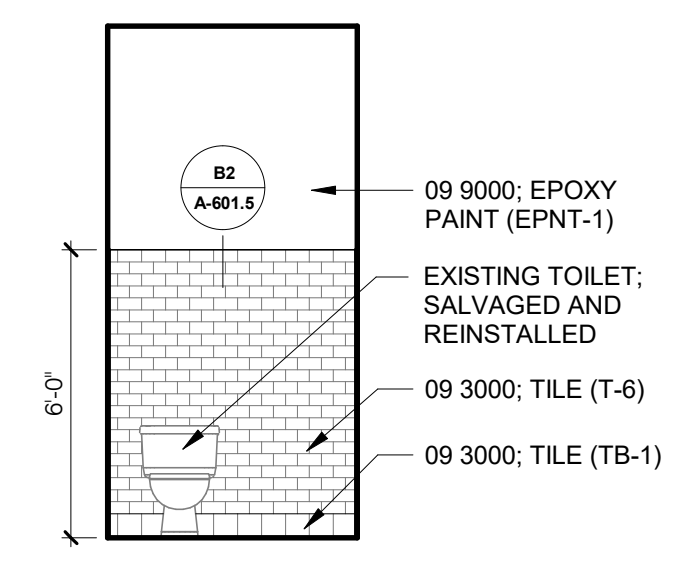
C5 BREAKROOM 03S - EAST
1/4" = 1'-0"



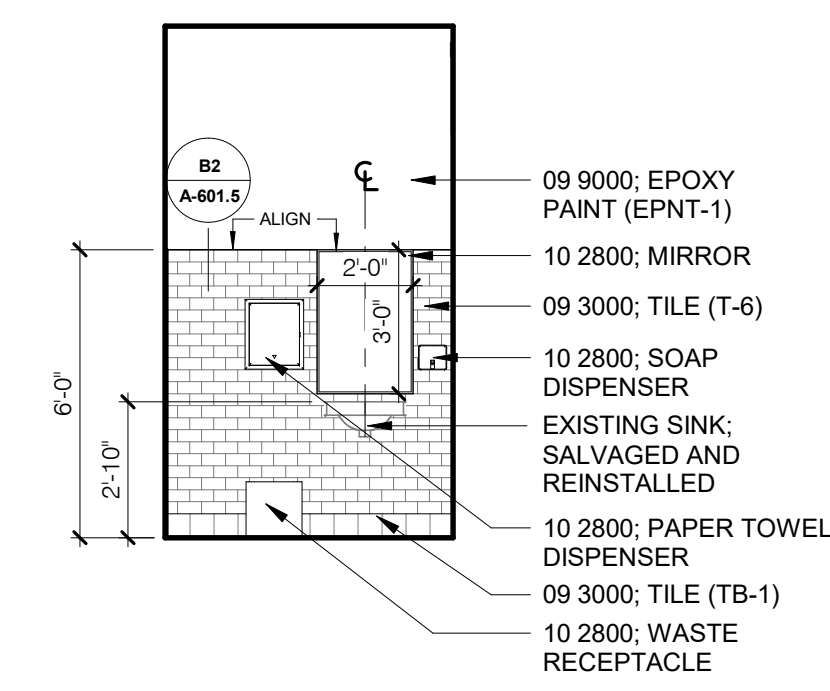
B2 RESTROOM 03T - WEST
1/4" = 1'-0"



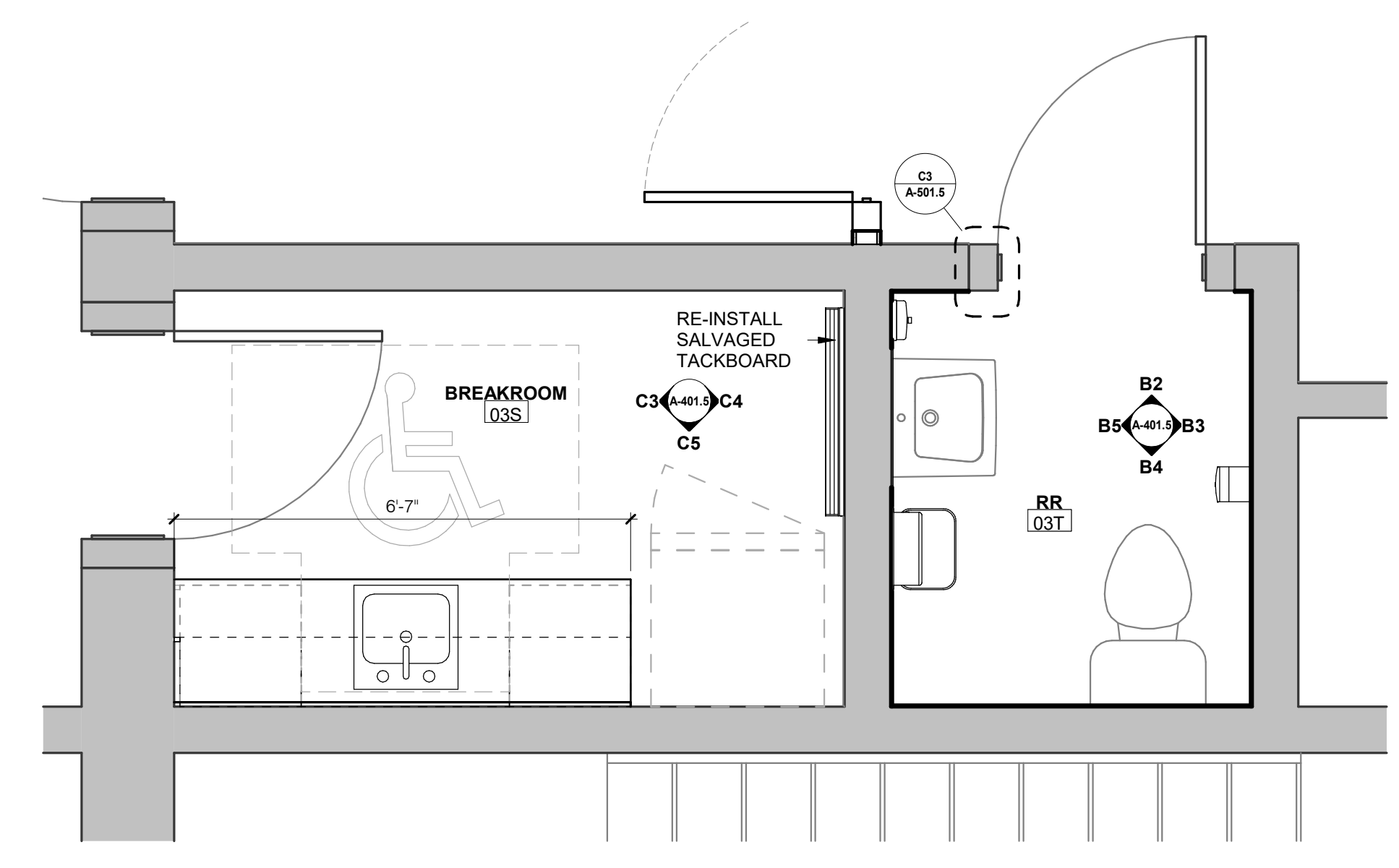
B3 RESTROOM 03T - NORTH
1/4" = 1'-0"



B4 RESTROOM 03T - EAST
1/4" = 1'-0"



B5 RESTROOM 03T - SOUTH
1/4" = 1'-0"



A4 ENLARGED PLAN @ BREAKROOM & RESTROOM
1/2" = 1'-0"

PROJECT NAME
JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

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A-401.5

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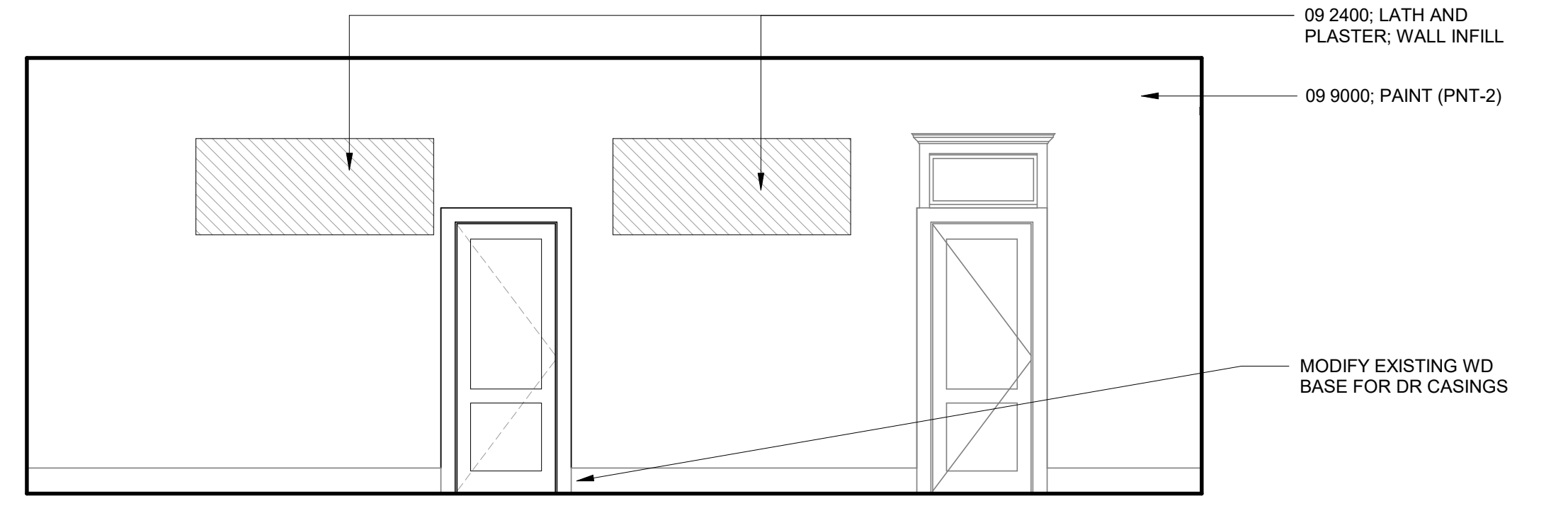
OWNER

JOHNSON COUNTY
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Iowa City, Iowa 52240

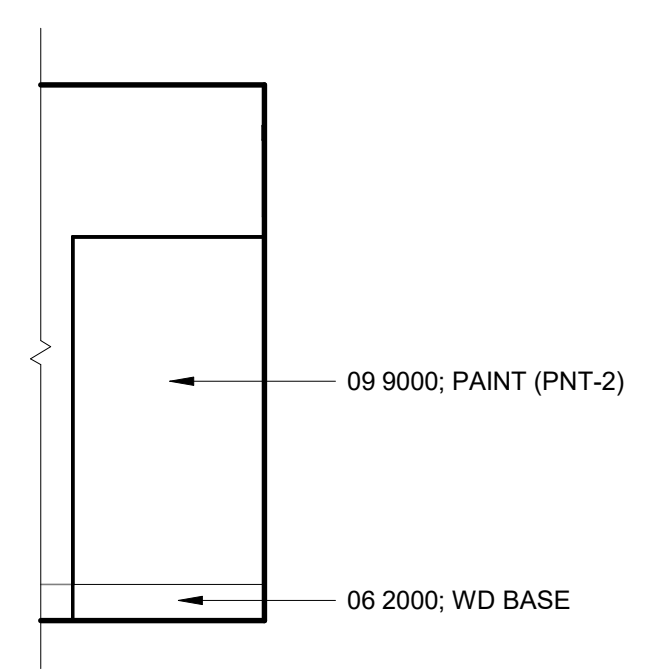
PROJECT NO. 18.112

ISSUE

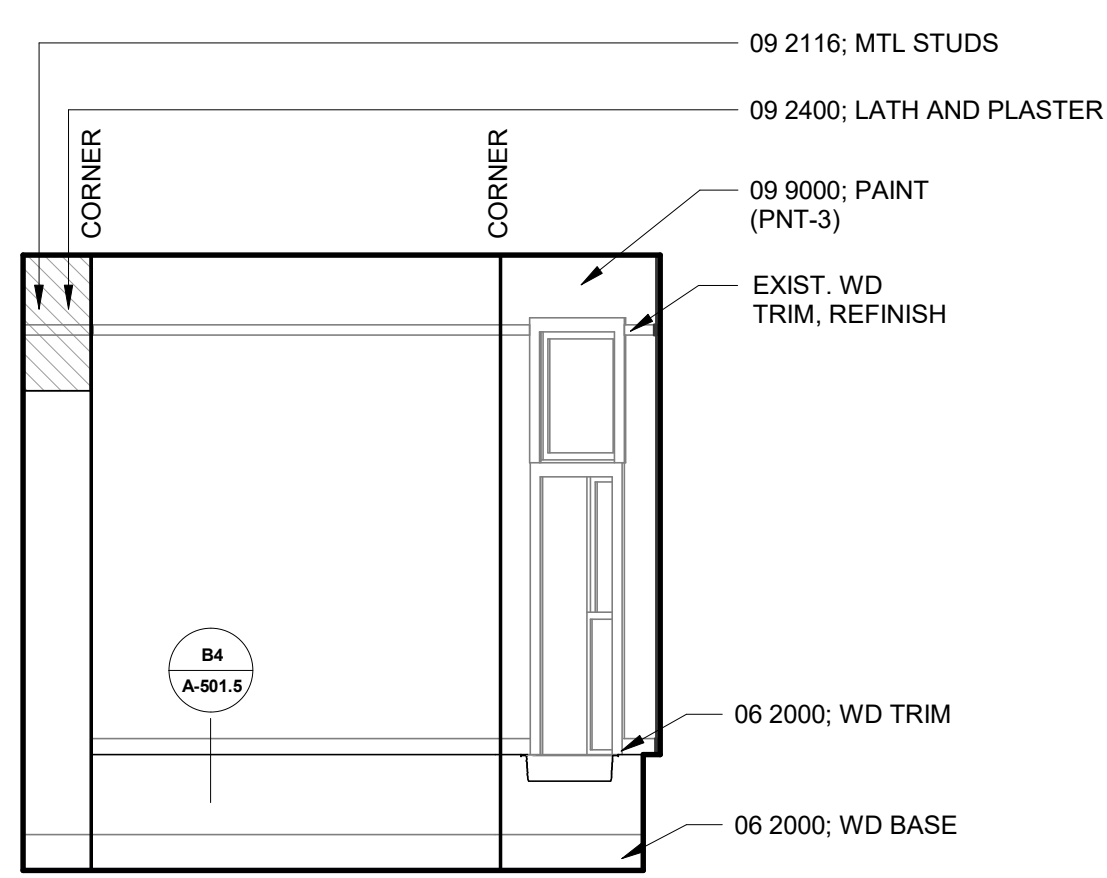
DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS



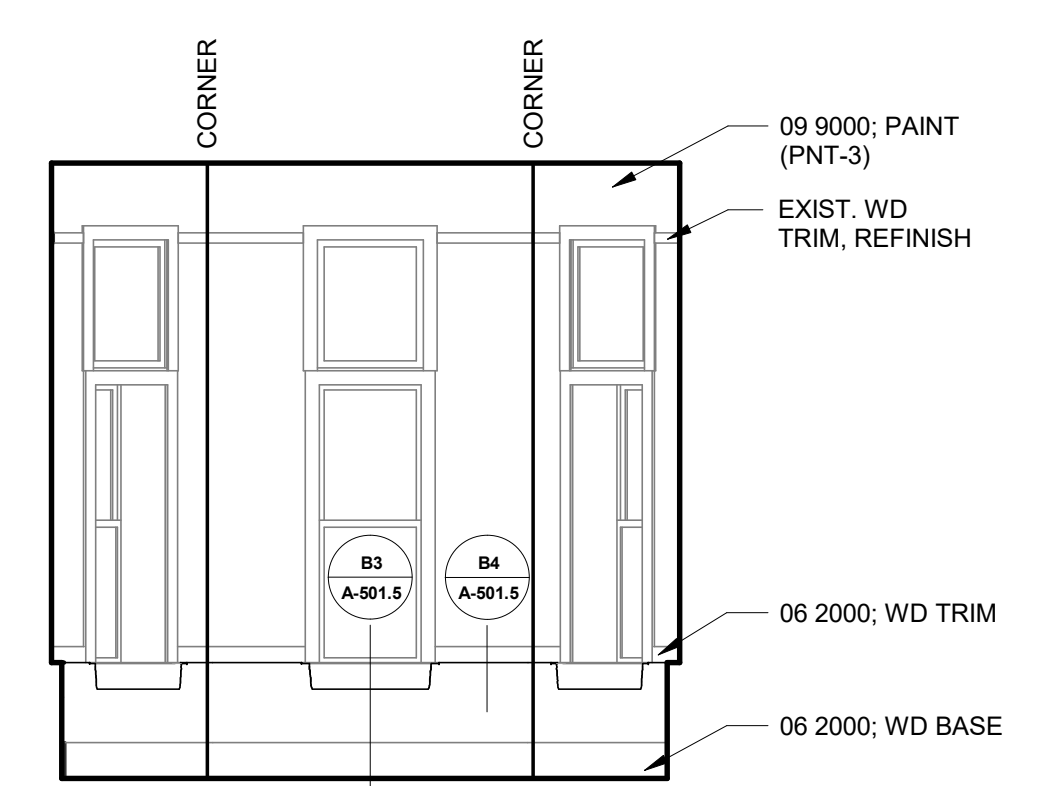
D4 HALLWAY 03L - WEST
1/4" = 1'-0"



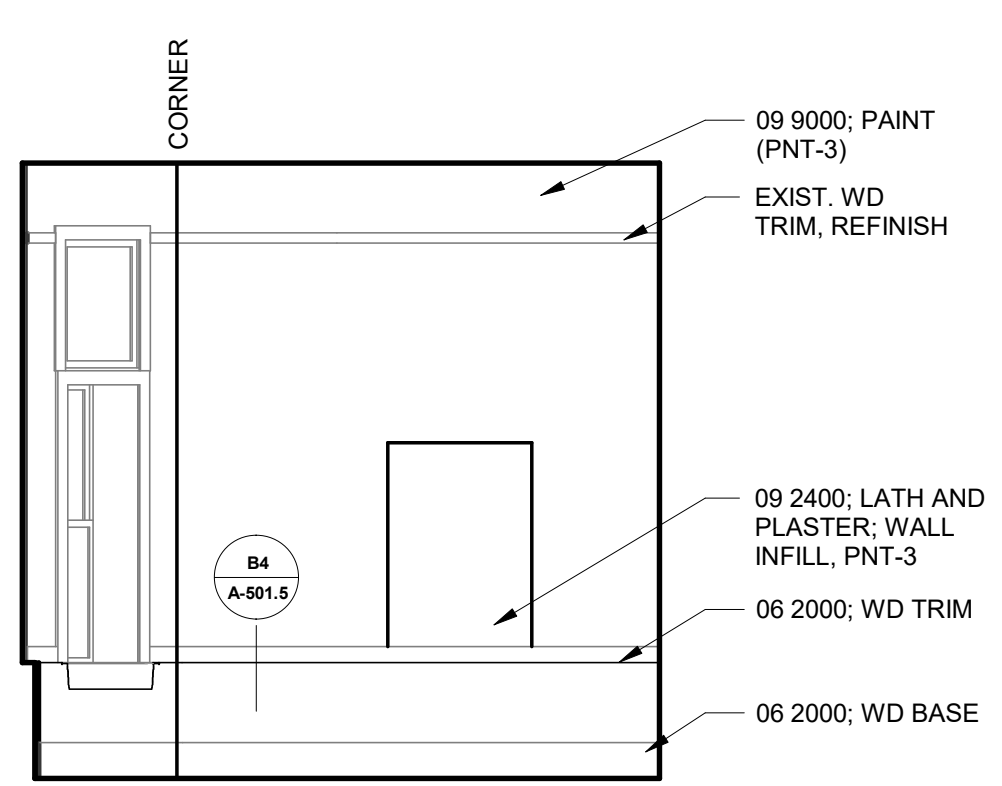
D3 HALLWAY 03M - NORTH
1/4" = 1'-0"



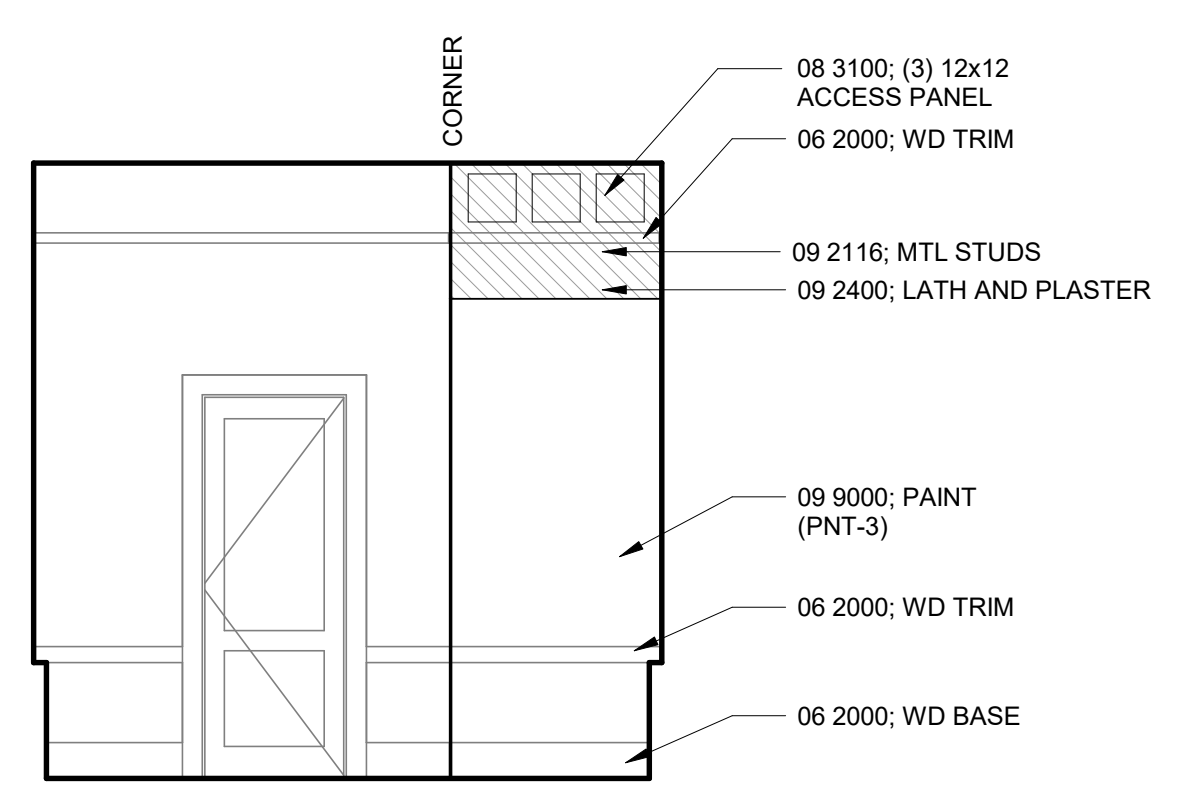
C5 OFFICE 03N - SOUTH
1/4" = 1'-0"



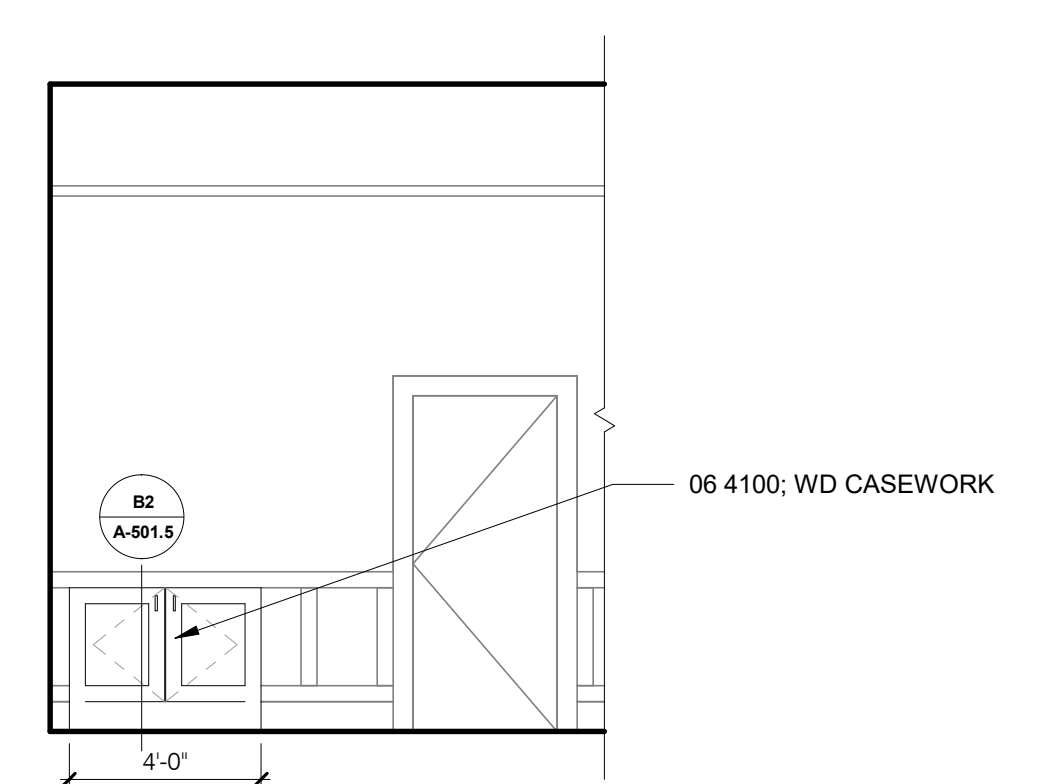
C4 OFFICE 03N - WEST
1/4" = 1'-0"



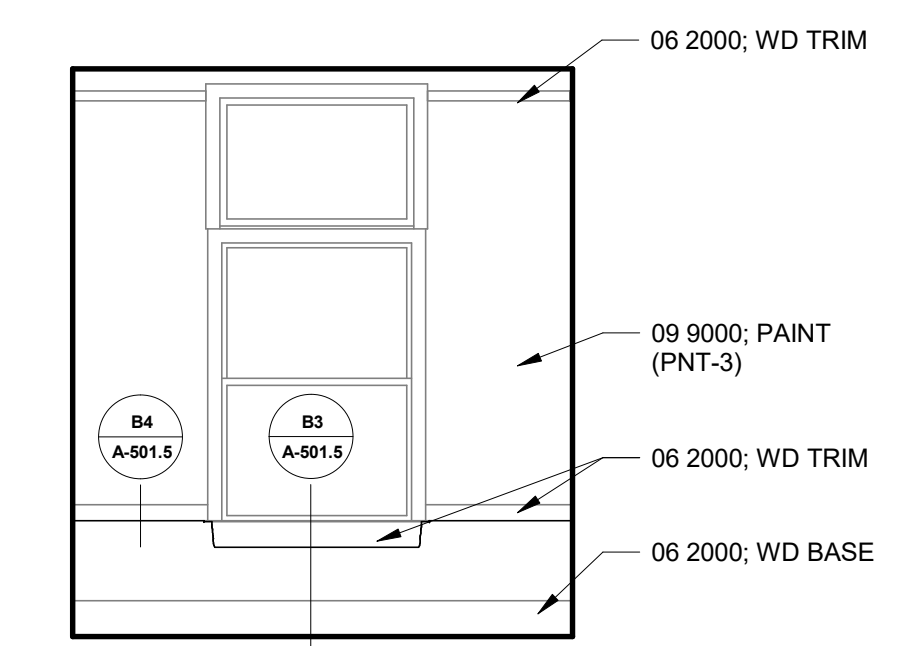
C3 OFFICE 03N - NORTH
1/4" = 1'-0"



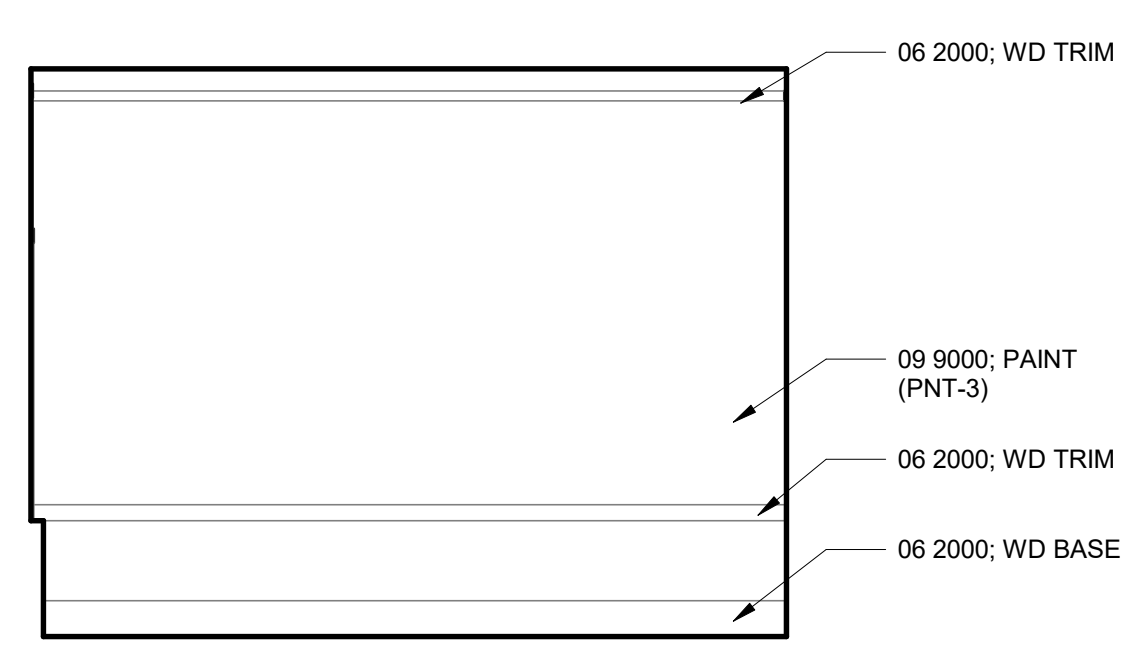
C2 OFFICE 03N - EAST
1/4" = 1'-0"



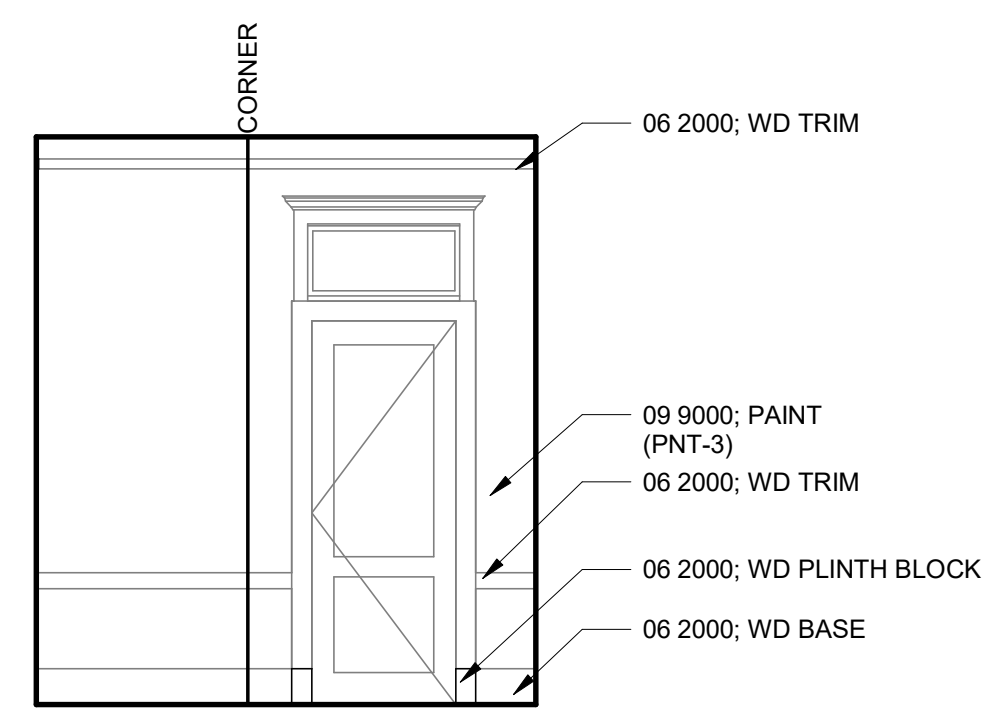
C1 COURTROOM 03A - WEST
1/4" = 1'-0"



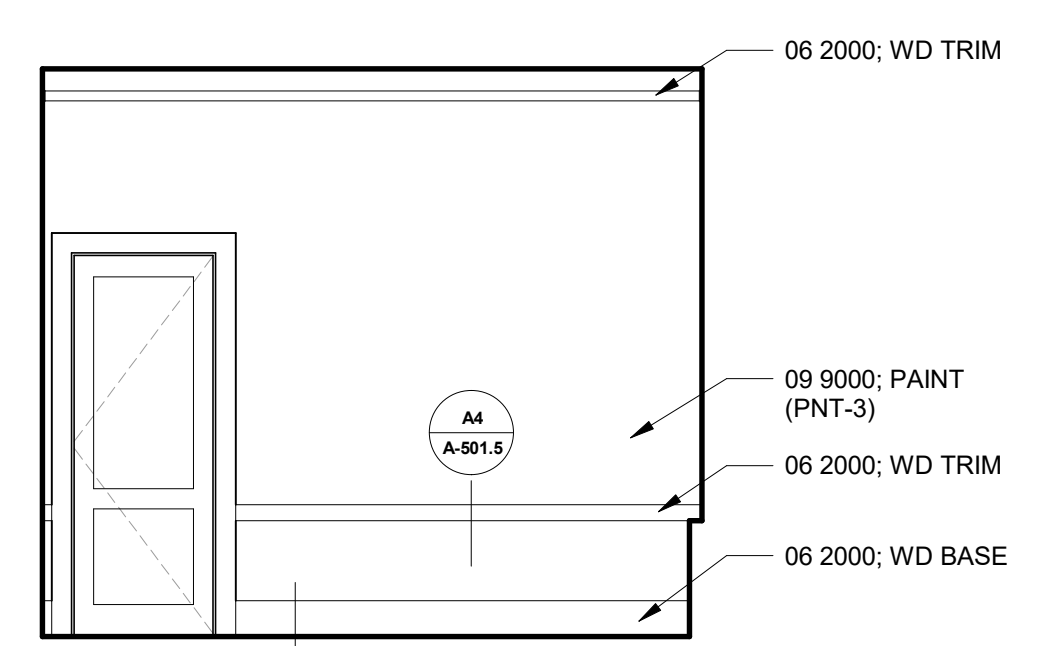
B5 OFFICE 03R - WEST
1/4" = 1'-0"



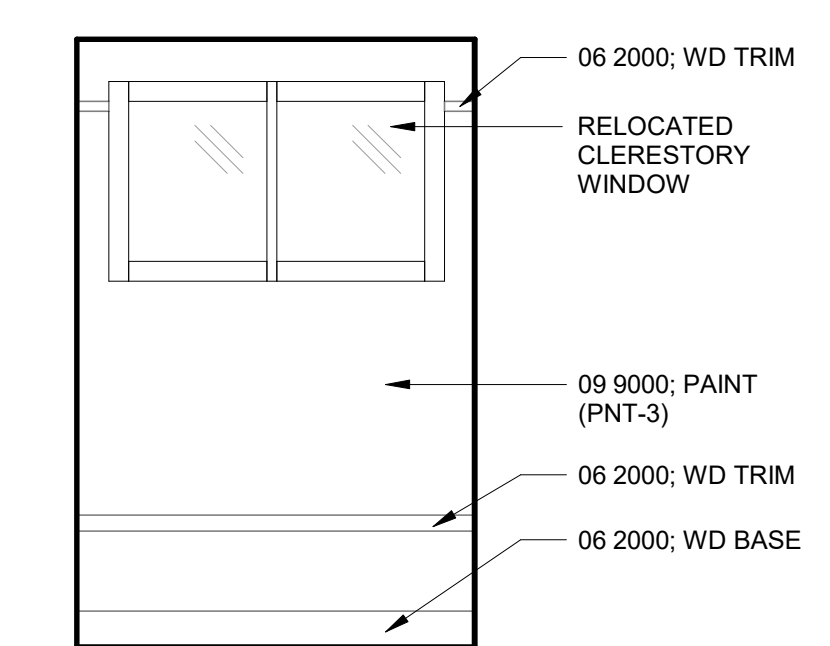
B4 OFFICE 03R - NORTH
1/4" = 1'-0"



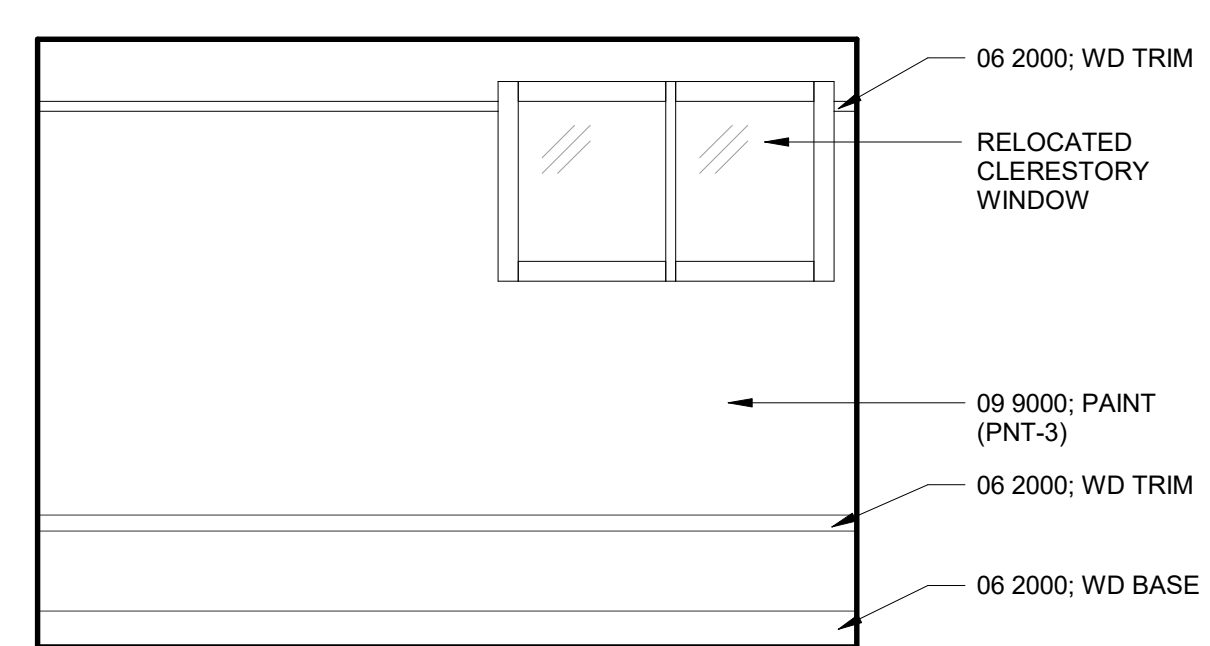
B3 OFFICE 03R - EAST
1/4" = 1'-0"



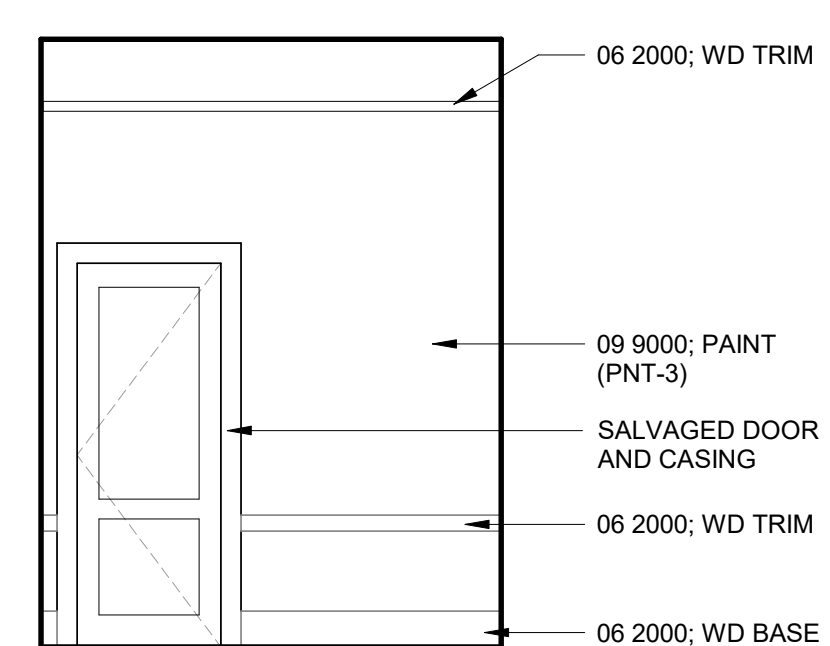
B2 OFFICE 03R - SOUTH
1/4" = 1'-0"



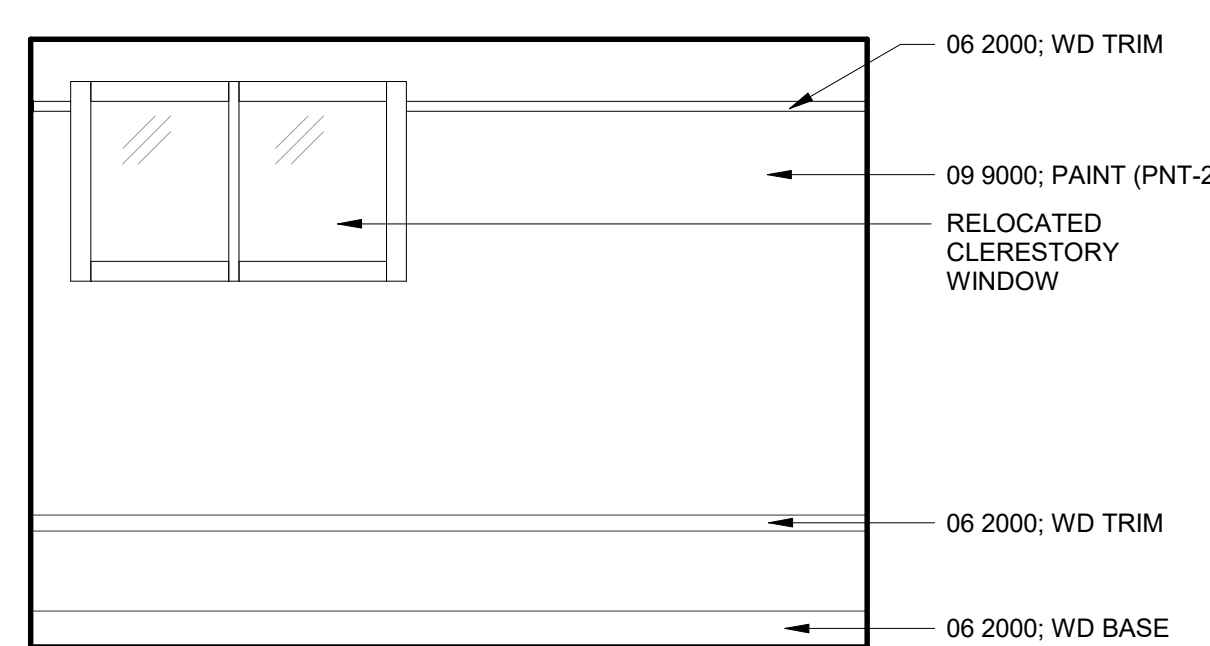
A5 OFFICE 03O - SOUTH
1/4" = 1'-0"



A4 OFFICE 03P - SOUTH, NORTH SIM.
1/4" = 1'-0"



A3 OFFICE 03P - EAST, TYP.
1/4" = 1'-0"



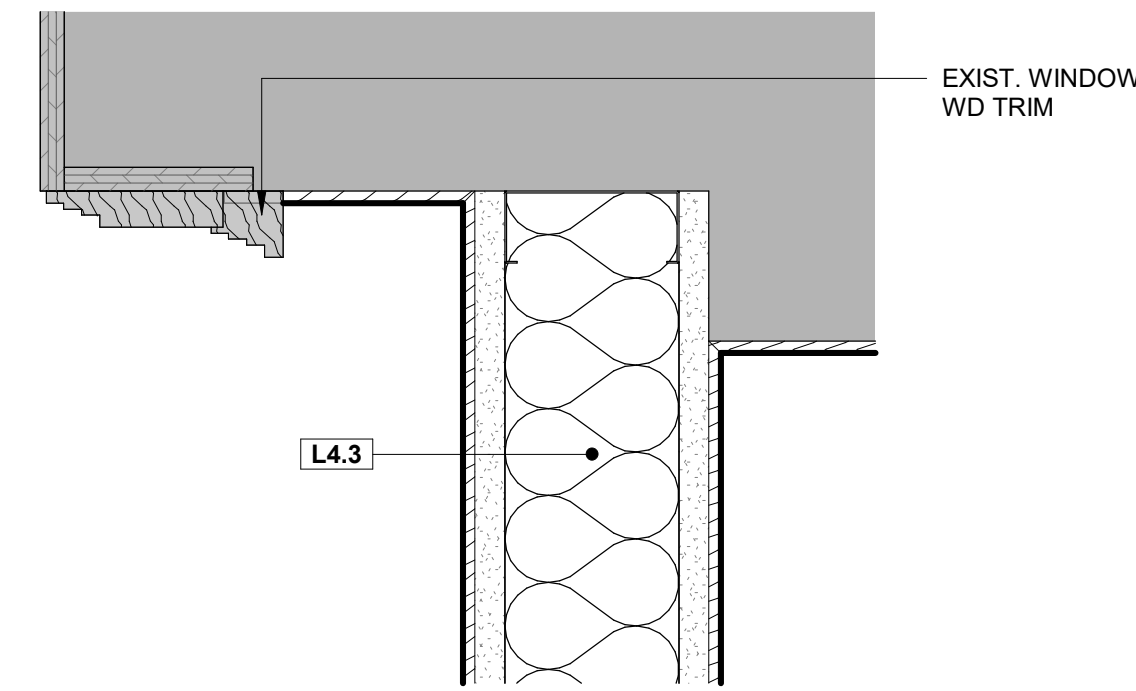
A2 OFFICE 03Q - NORTH
1/4" = 1'-0"

SHEET NUMBER

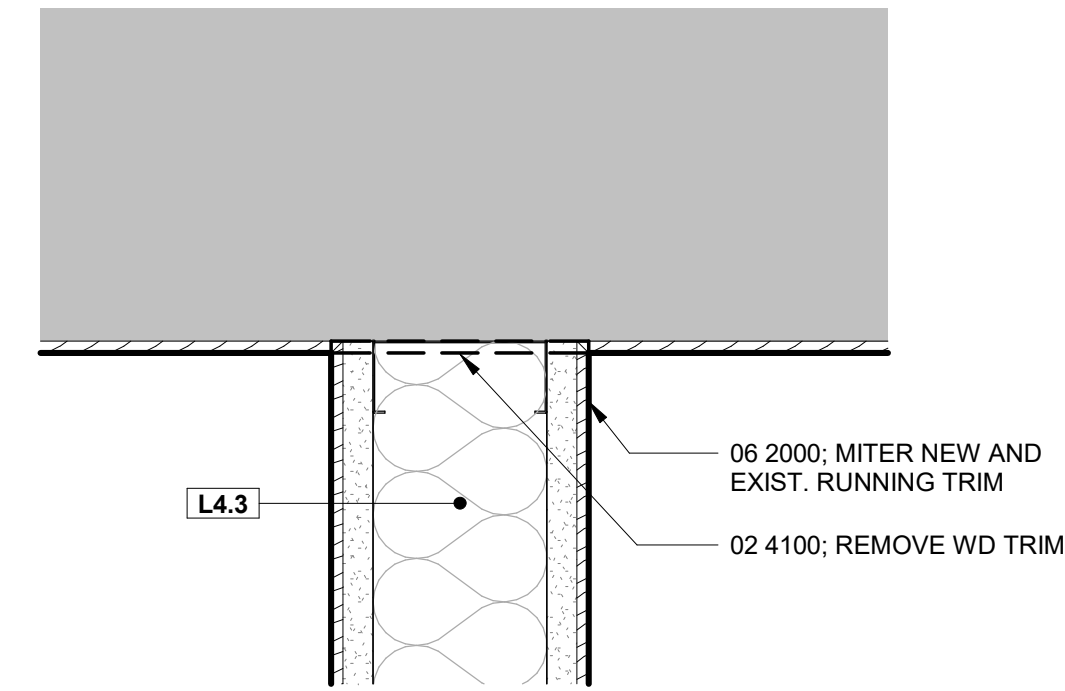
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SHEET NAME

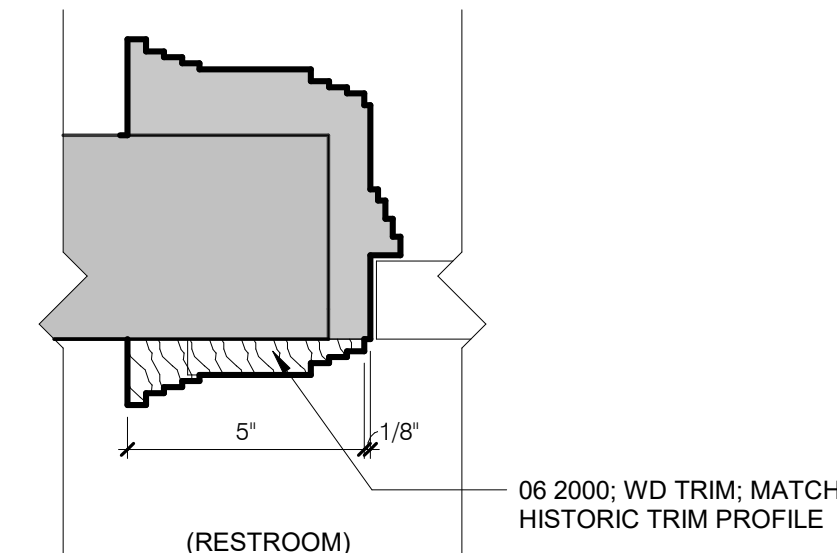
INTERIOR ELEVATIONS



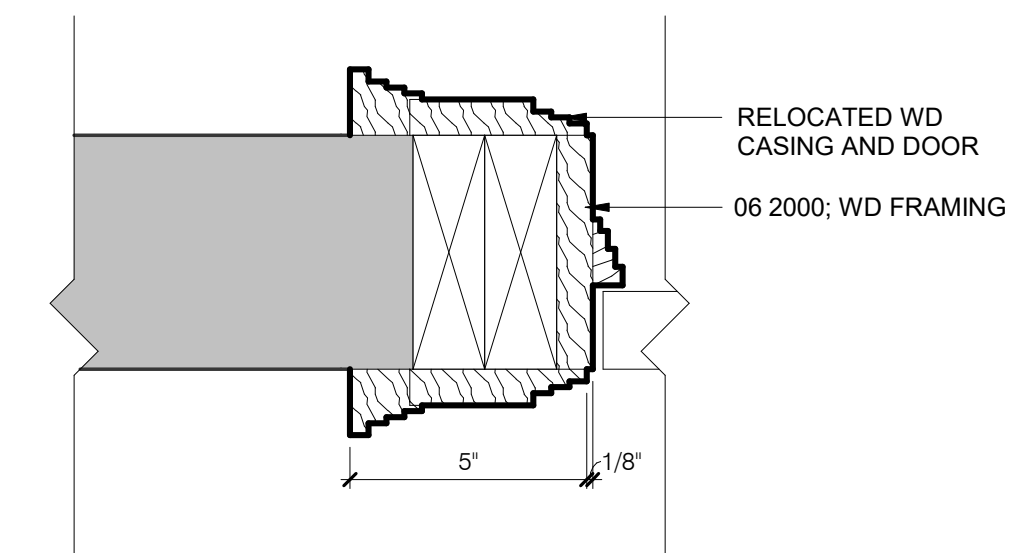
C1 PLAN DTL @ EXIST. WALL
3" = 1'-0"



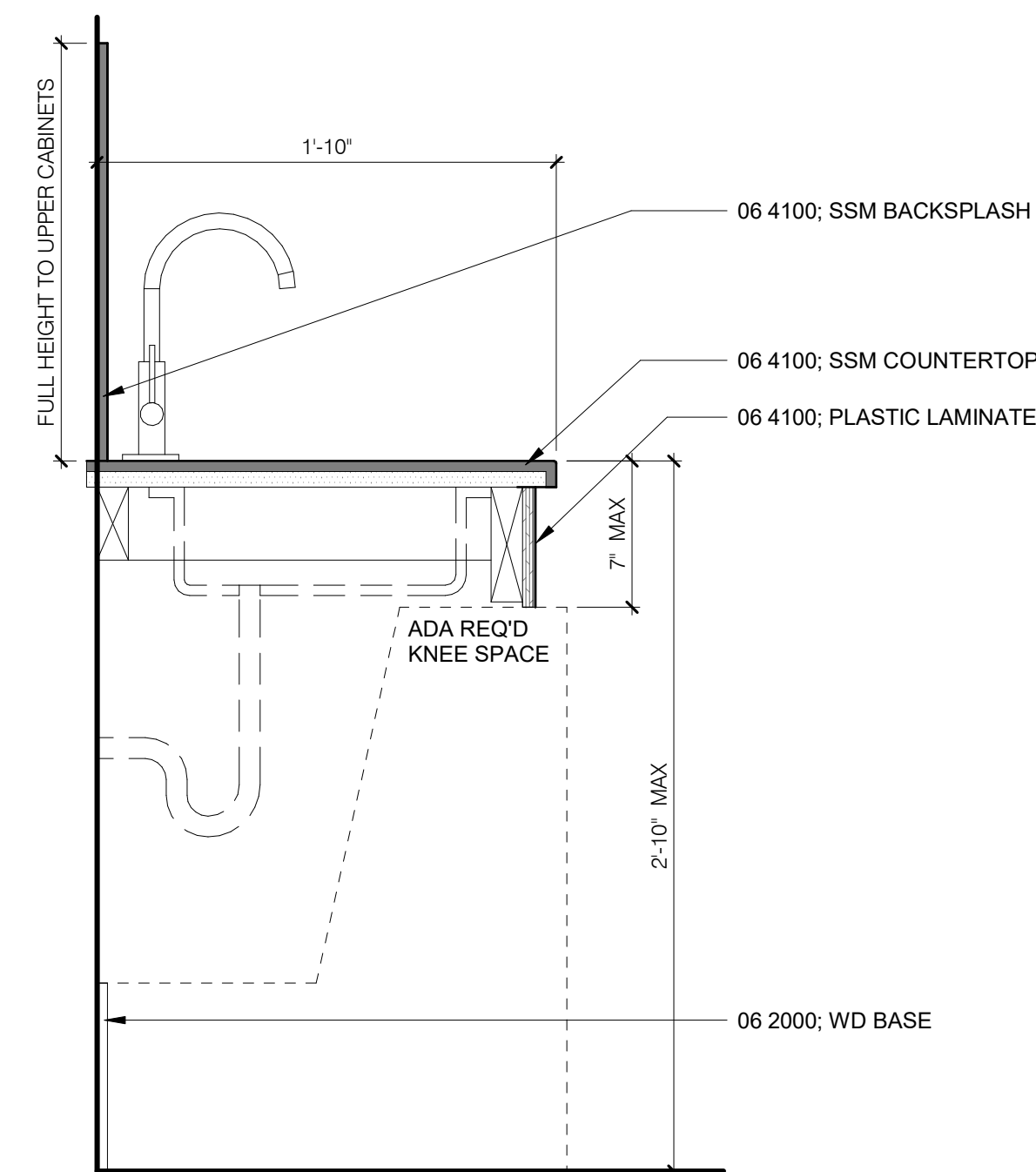
C2 PLAN DTL @ EXIST. WALL, TYP.
3" = 1'-0"



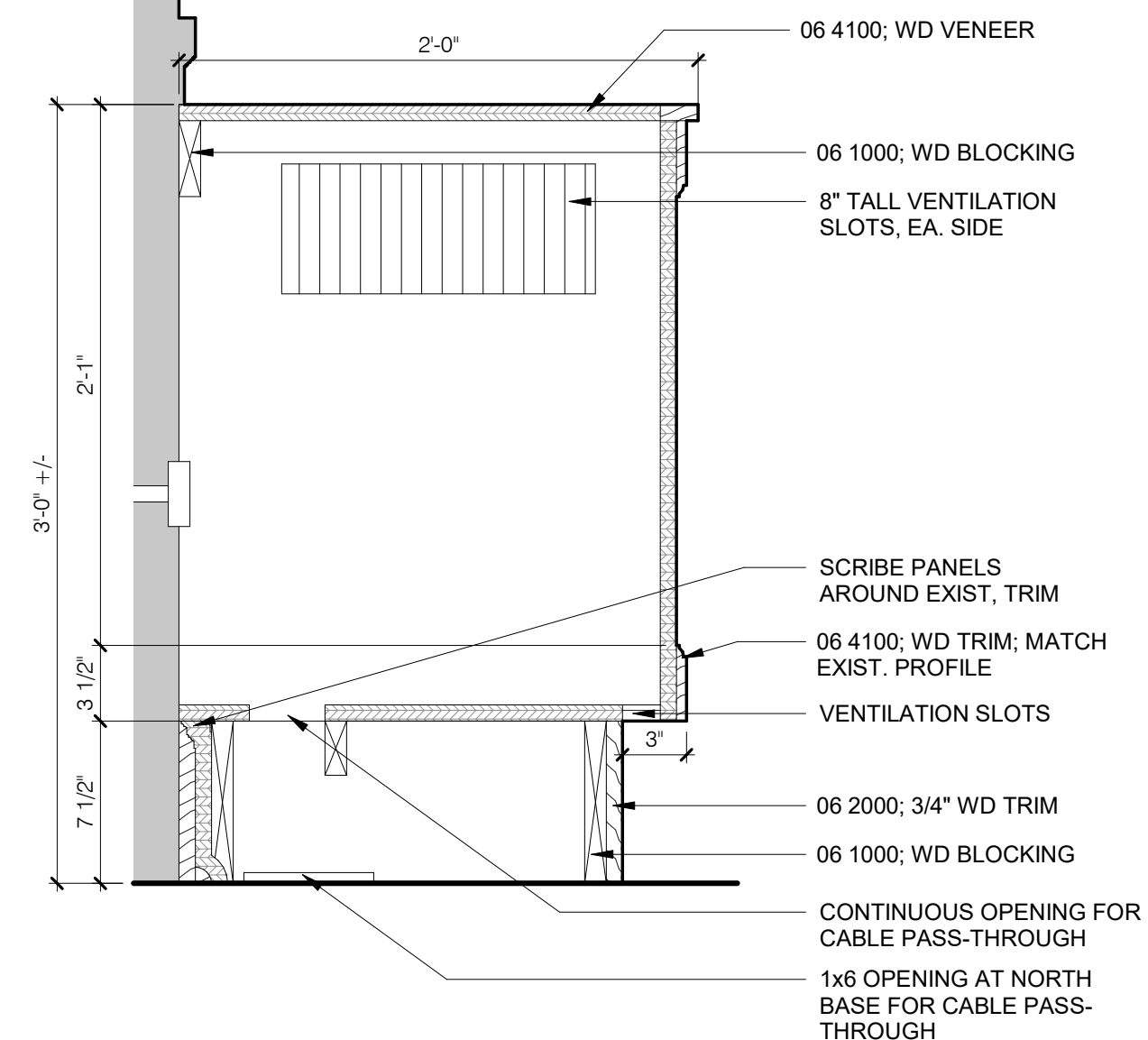
C3 PLAN DTL @ RR 03T DOOR JAMB
3" = 1'-0"



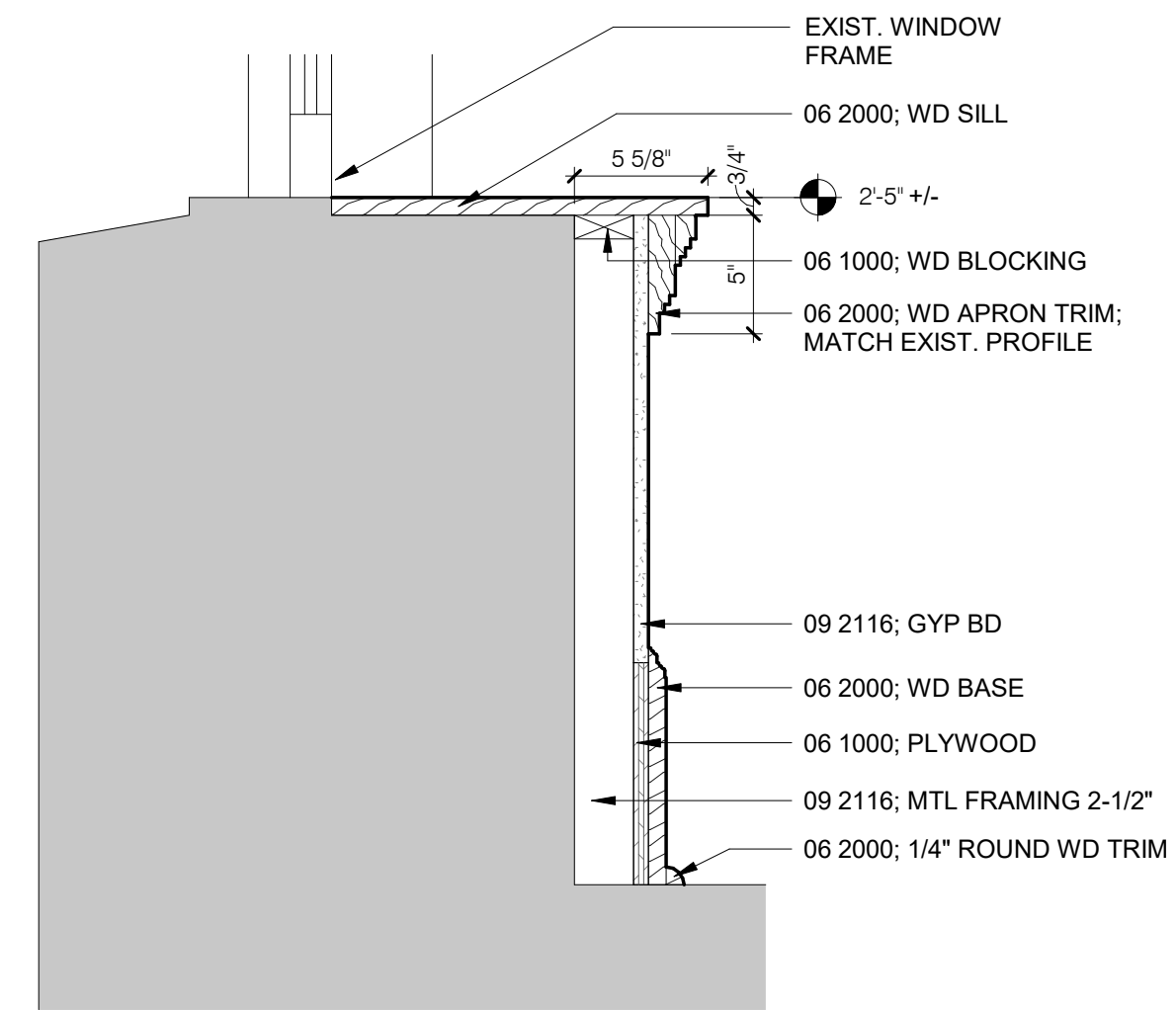
C4 PLAN DTL @ DOOR JAMB
3" = 1'-0"



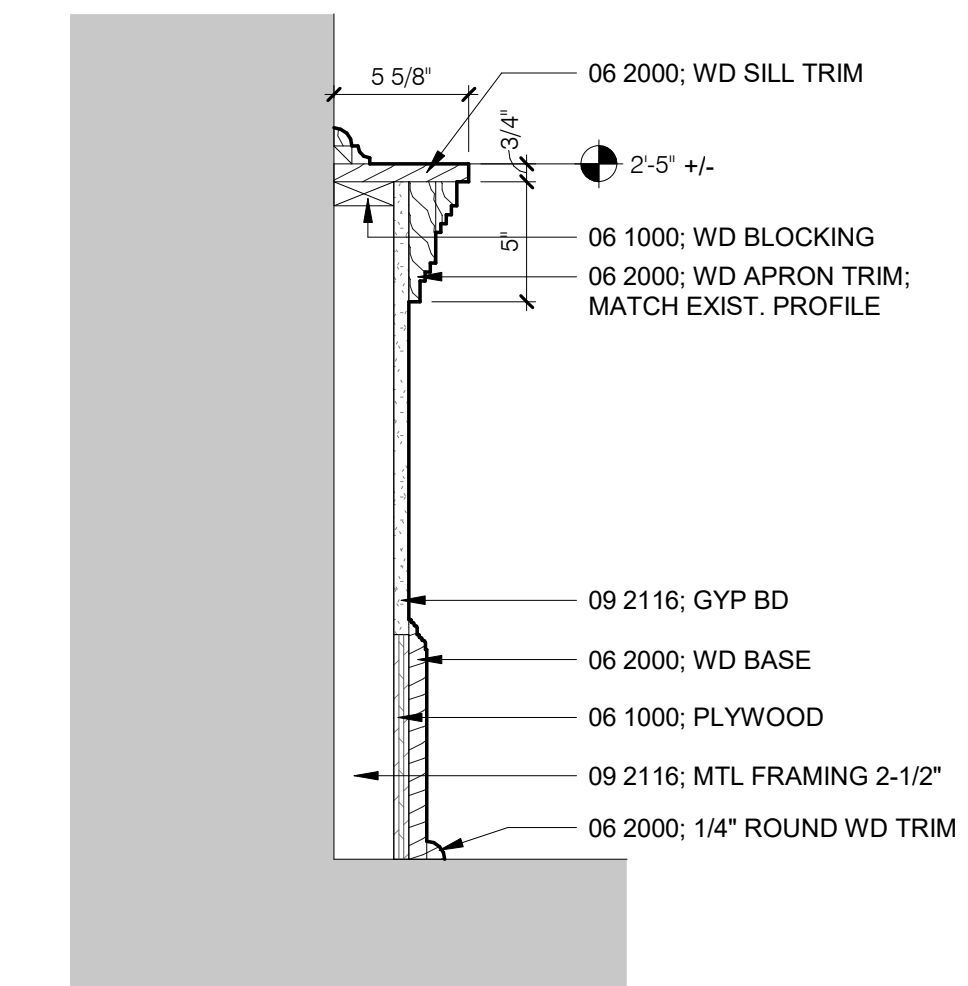
B1 SECT. DTL @ ACCESSIBLE SINK
1 1/2" = 1'-0"



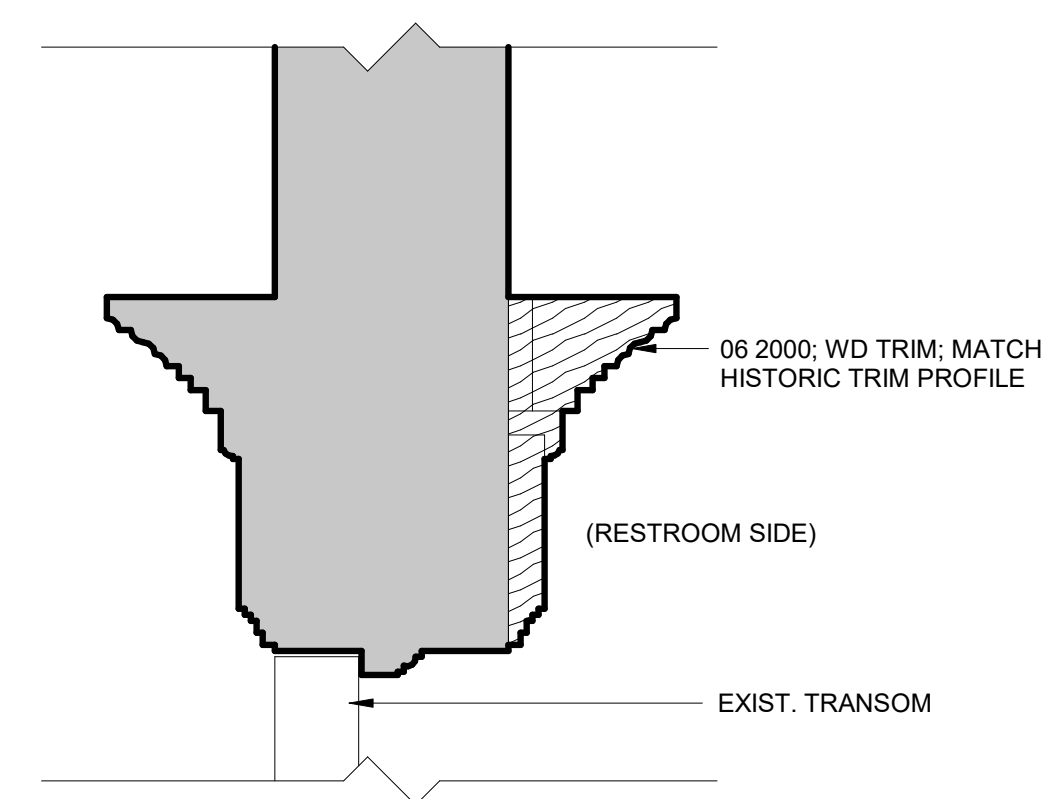
B2 SECT. DTL @ FTR CABINET
1 1/2" = 1'-0"



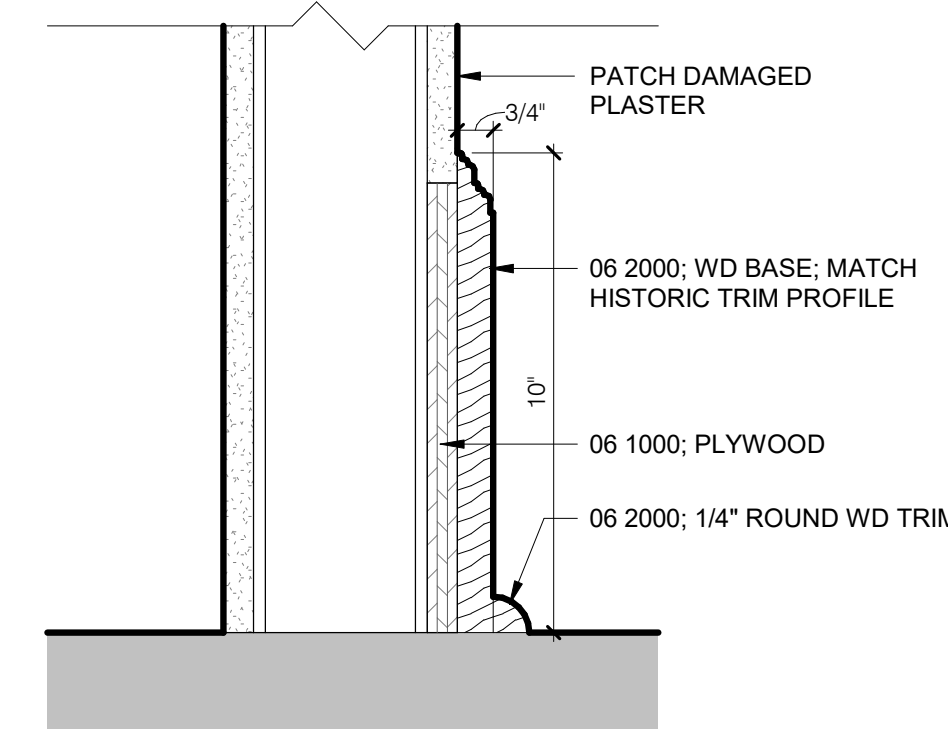
B3 SECT. DTL @ KNEE WALL AT WINDOW
1 1/2" = 1'-0"



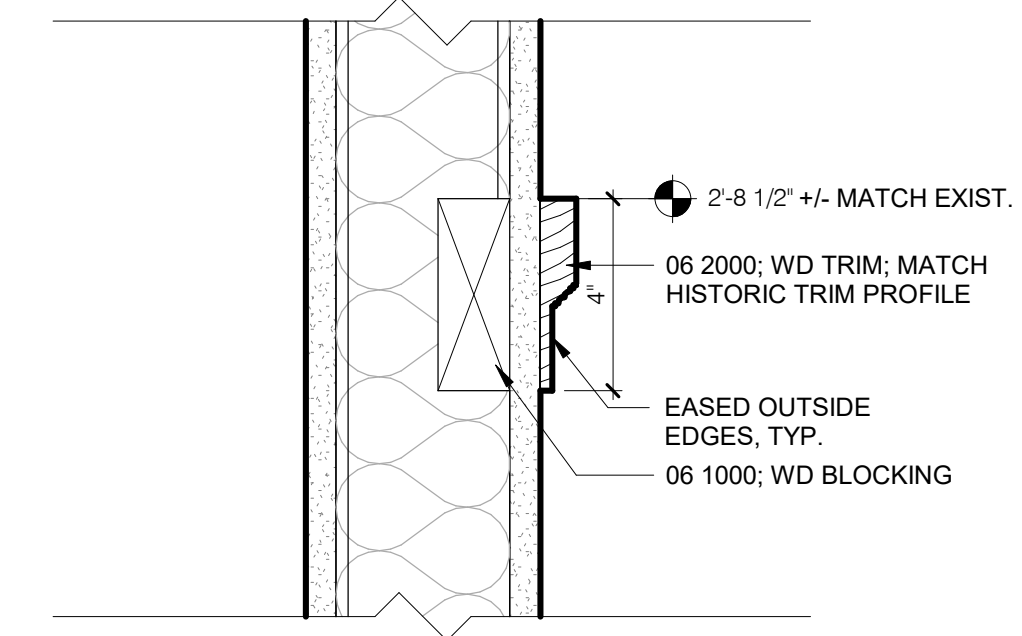
B4 SECT. DTL @ KNEE WALL
1 1/2" = 1'-0"



A2 SECT. DTL @ RR 03T DOOR HEAD
3" = 1'-0"



A3 SECT. DTL @ WD BASE, TYP.
3" = 1'-0"

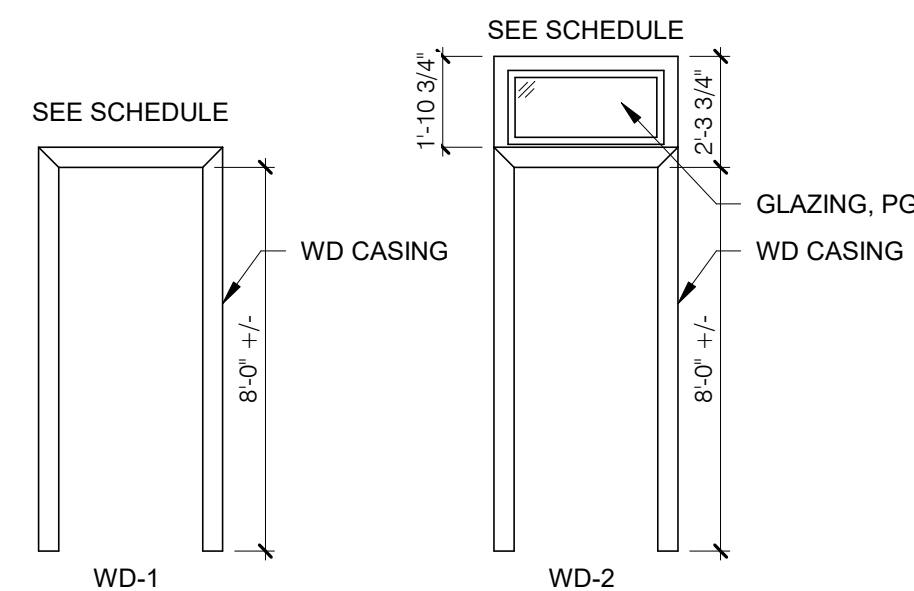


A4 SECT. DTL @ WD RAIL, TYP.
3" = 1'-0"

DOOR SCHEDULE									
No.	ROOM	DOOR SIZE		DOOR			FRAME		NOTES
		WIDTH	HEIGHT	TYPE	MAT	GLAZE	TYPE	MAT	
03L	HALLWAY	3'-0"	8'-0"	--					1
03M	HALLWAY	3'-0"	8'-0"	--					1
03N	OFFICE	3'-0"	8'-0"	--					1
03O	OFFICE	3'-0"	8'-0"	--					1
03P	MULTI-USE	3'-0"	8'-0"	--					1,2
03Q	OFFICE	3'-0"	8'-0"	--					1
03R	OFFICE	3'-0"	8'-0"	B	WD		WD-1	WD	
03S	BREAKROOM	3'-0"	8'-0"	--					1
03T	RR	3'-0"	8'-0"	--					1,3
03U	OFFICE	3'-0"	8'-0"	A	WD	PG	WD-2	WD	
03V	OFFICE	3'-0"	8'-0"	--					1

DOOR SCHEDULE NOTES:

- REFINISH ALL SIDES OF EXISTING DOOR AND TRANSOM PANEL, FRAME, AND CASINGS FOR UNIFORM APPEARANCE TO MATCH ARCH SELECTED STAIN COLOR
- REINSTALL SALVAGED DOOR AND CASINGS; INSTALL NEW FRAME AND WOOD PLINTH BLOCKS EA. SIDE
- AT RR SIDE, INSTALL NEW WOOD CASING AT JAMB AND HEAD TO MATCH HISTORIC TRIM PROFILE



DOOR FRAME TYPES

1/4" = 1'-0"

DOOR PANEL TYPES

1/4" = 1'-0"

GLAZING TYPES:

- TG = TRANSPARENT GLASS
- PG = PATTERNED GLASS

INTERIOR FINISHES					
KEY	MATERIAL	MANUF.	DESCRIPTION	COMMENTS	
PLAM-1	06 4100- PLASTIC LAMINATE	FENIX	J0748 BEIGE ARIZONA, COLORCORE	CASEWORK AT BREAKROOM	
SSM-1	06 4100- SOLID SURFACE	FORMICA	744 CREMA TERRAZZO, THICKNESS: 1/2"	COUNTERTOP AT BREAKROOM	
T-1	09 3000- TILE	DALTILE	KEYSTONE, 1" HEXAGON MOSAIC, COLOR: ALMOND	FIELD TILE AT RESTROOM AND CENTER OF FLORAL DETAIL	
T-2	09 3000- TILE	DALTILE	KEYSTONE, 1" X 1" MOSAIC, COLOR: BROWN BERRY	FLORAL DETAIL TILE AT RESTROOM	
T-3	09 3000- TILE	DALTILE	KEYSTONE, 1" X 1" MOSAIC, COLOR: ALMOND	ACCENT TILE AT RESTROOM BOARDER	
T-4	09 3000- TILE	DALTILE	KEYSTONE, 1" X 1" MOSAIC, COLOR: BROWN BERRY	ACCENT TILE AT RESTROOM BOARDER	
T-5	09 3000- TILE	DALTILE	KEYSTONE, 1" X 1" MOSAIC, COLOR: URBAN PUTTY	ACCENT TILE AT RESTROOM BOARDER	
T-6	09 3000- TILE	DALTILE	COLOR WHEEL, 3" X 6", COLOR: ARTIC WHITE, MATTE	WALL TILE AT RESTROOM	
TB-1	09 3000- TILE	DALTILE	COLOR WHEEL, 6" X 6" COVE BASE, COLOR: ARTIC WHITE, MATTE	WALL BASE AT RESTROOM	
SATC	09 5100- ACOUSTICAL CEILING	ARMSTRONG	DUNE, 24" X24", COLOR: WHITE	AT LOCATIONS SCHEDULED	
CPT-1	09 6813- CARPET TILE	INTERFACE	COLLECTION: CEREMONY, STYLE: CE171 127950AK00, COLOR: BENTO 104951, SIZE: 25CM X 1M, INSTALLATION: ASHLAR	AT LOCATIONS SCHEDULED	
EPNT-1	09 9000- PAINT	SHERWIN WILLIAMS	EPOXY, SW 7637 OYSTER WHITE	AT LOCATIONS SCHEDULED	
PNT-2	09 9000- PAINT	SHERWIN WILLIAMS	SW 7637 OYSTER WHITE	AT LOCATIONS SCHEDULED	
PNT-3	09 9000- PAINT	SHERWIN WILLIAMS	SW 7036 ACCESSIBLE BEIGE	AT LOCATIONS SCHEDULED	
SHD-1	12 2400- WINDOW SHADES	SWF CONTRACT	CROSSHATCH R, COLOR: EGGSHHELL/FOG C8212, OPENNESS: 3%	WINDOW TREATMENT THROUGHOUT	

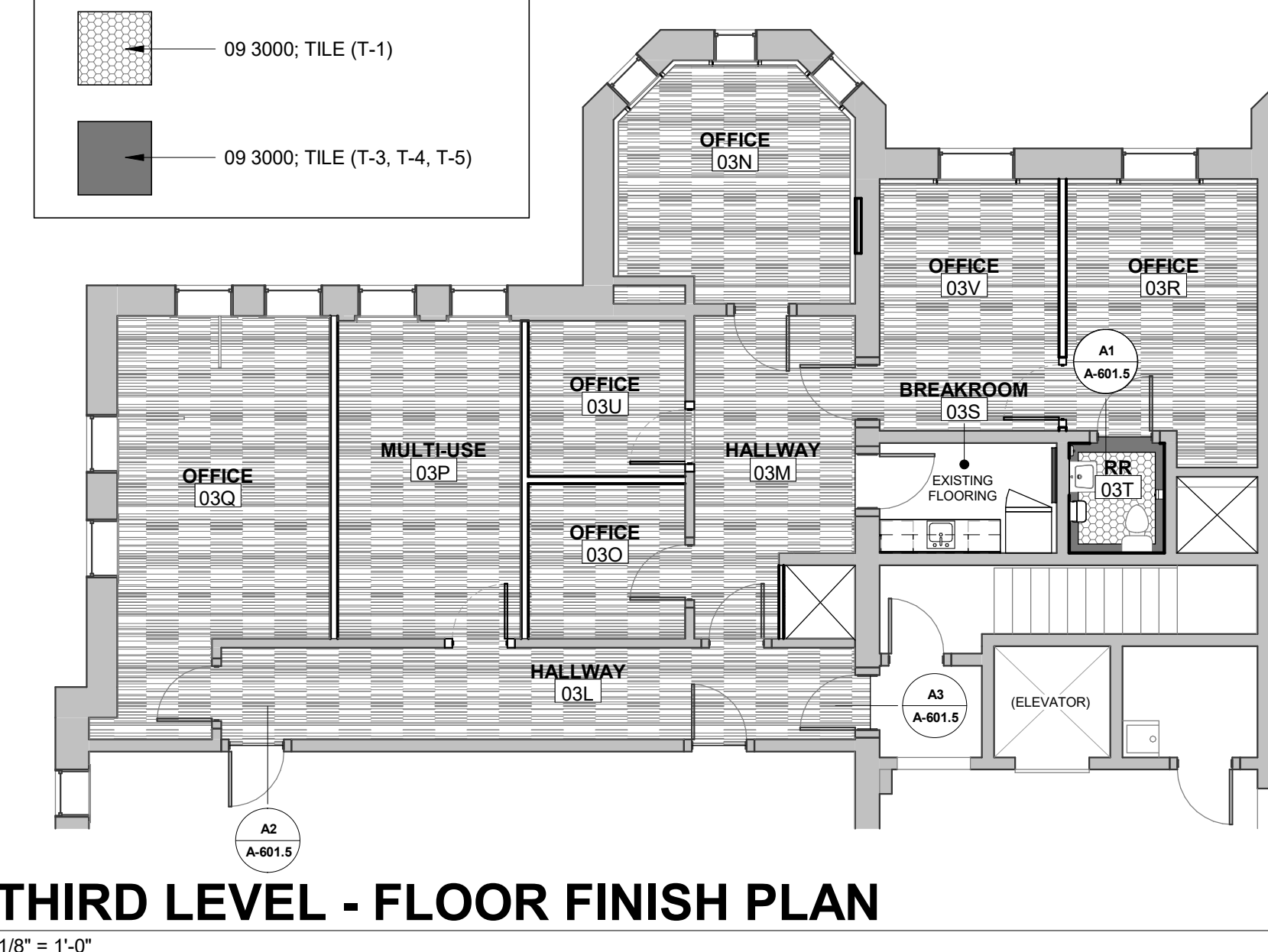
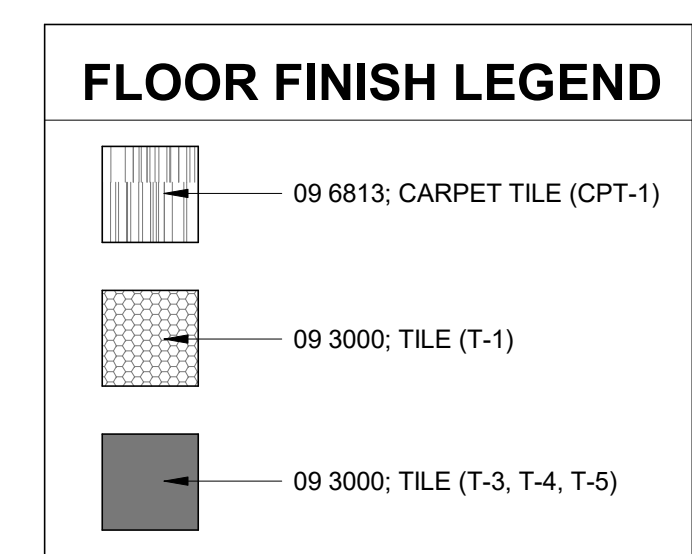
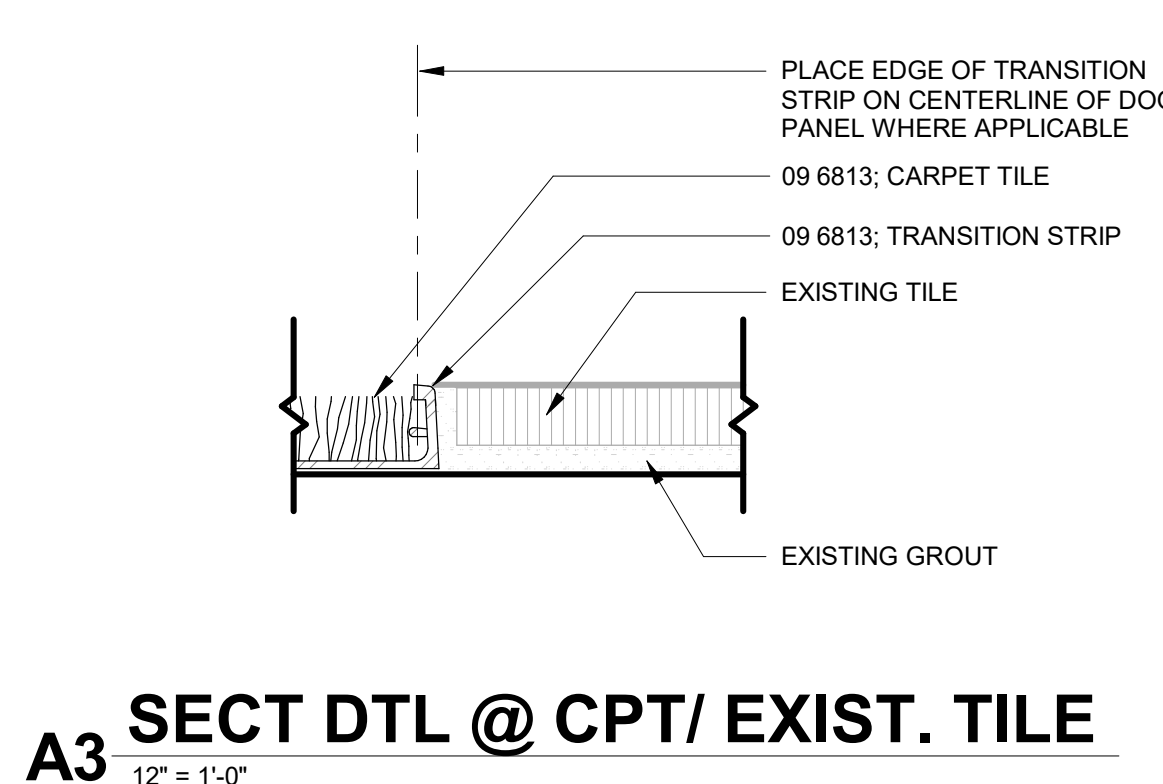
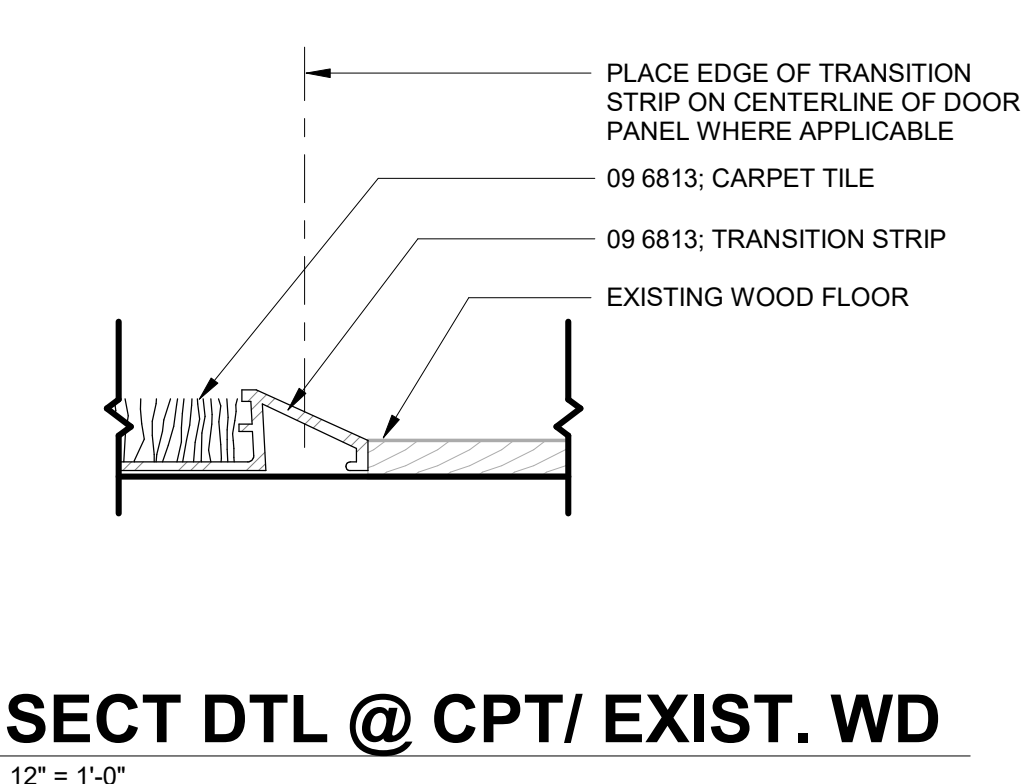
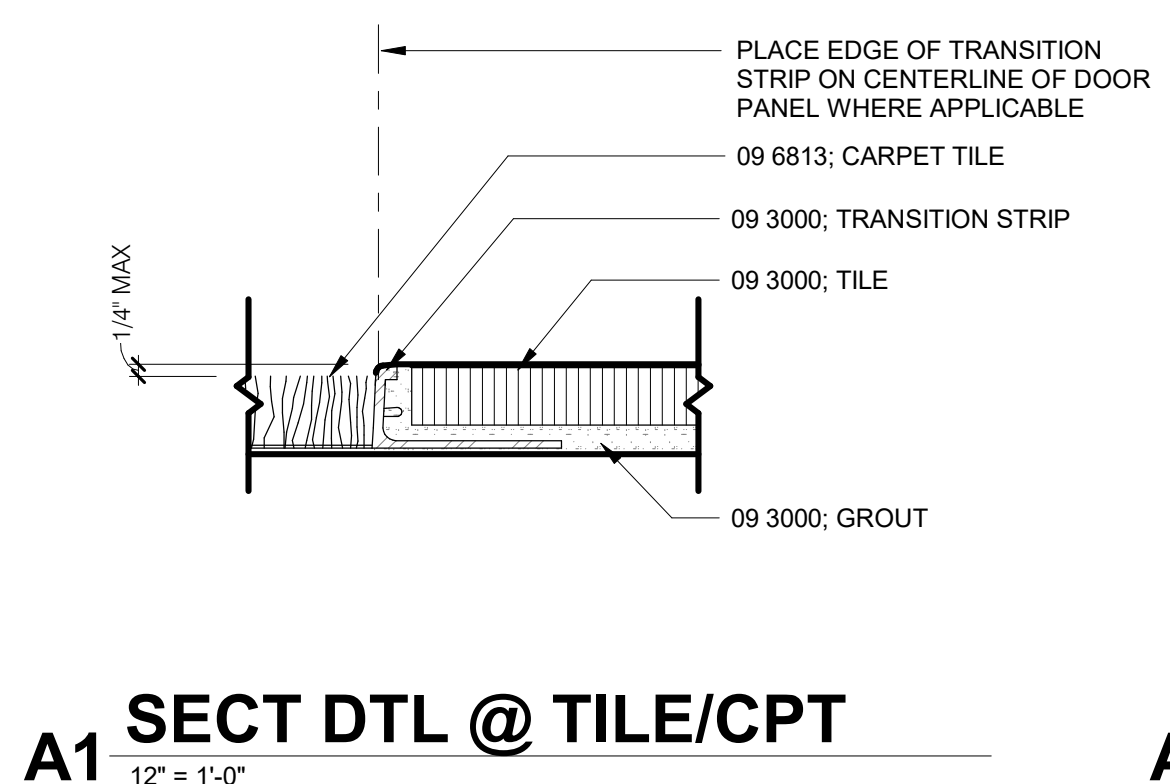
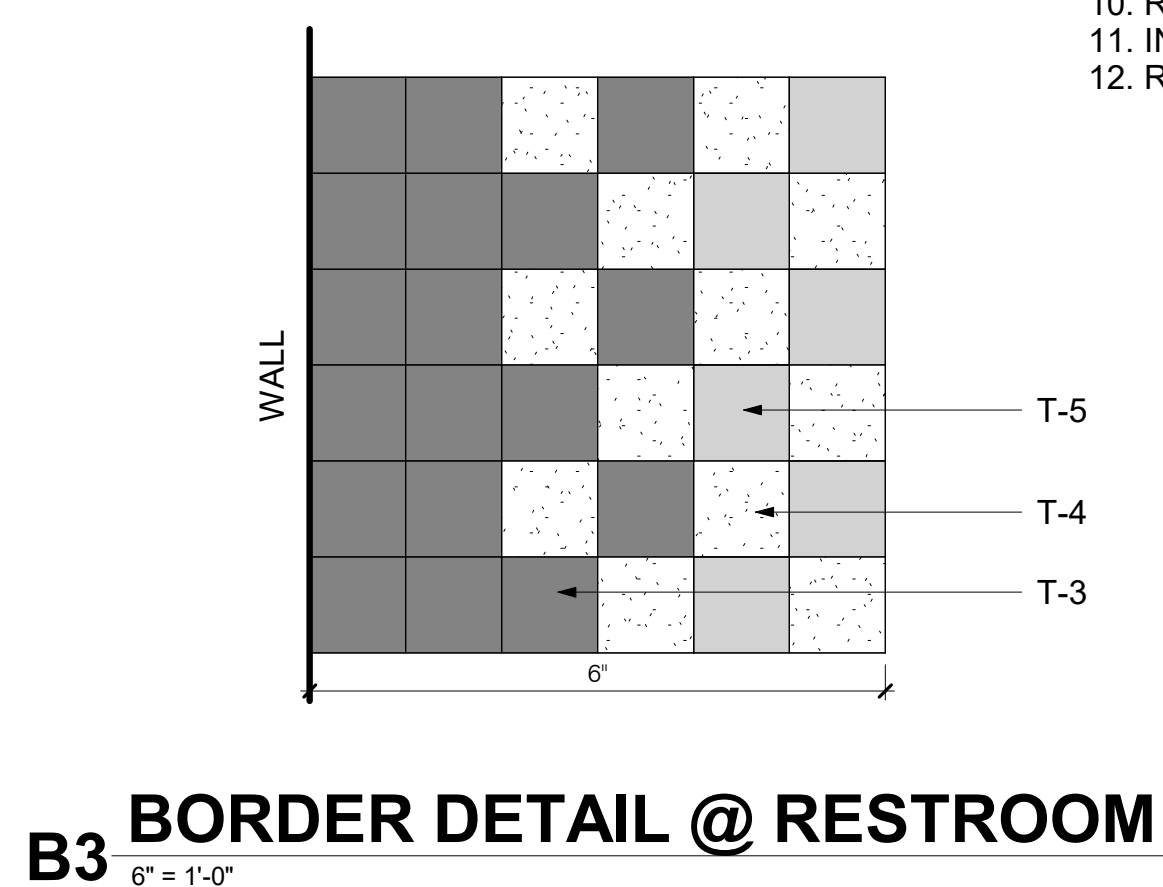
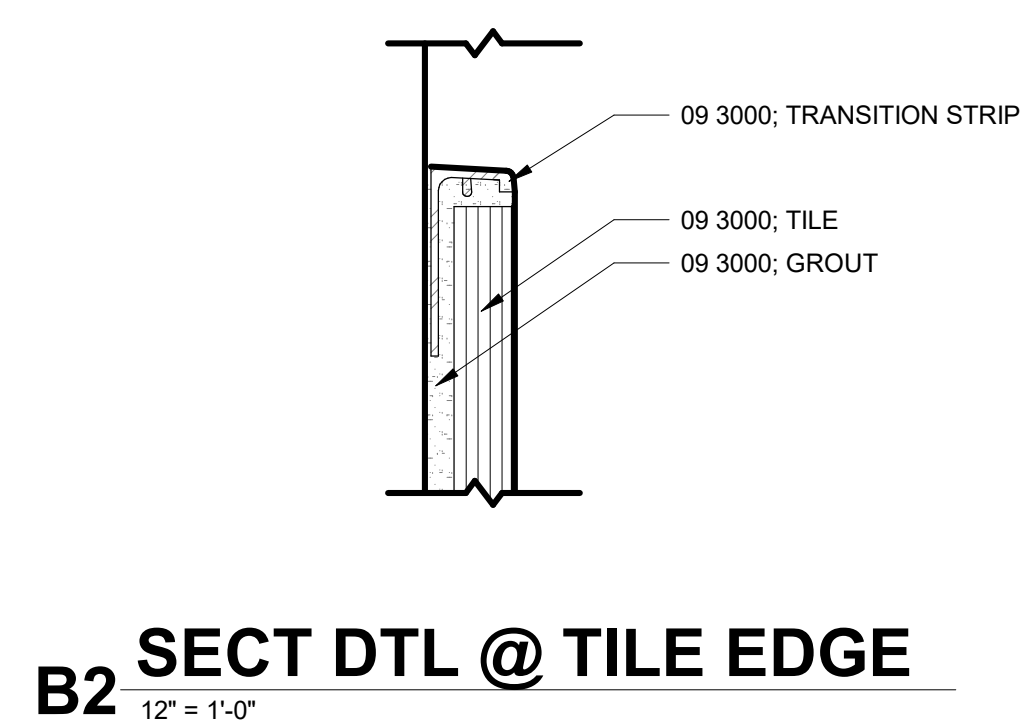
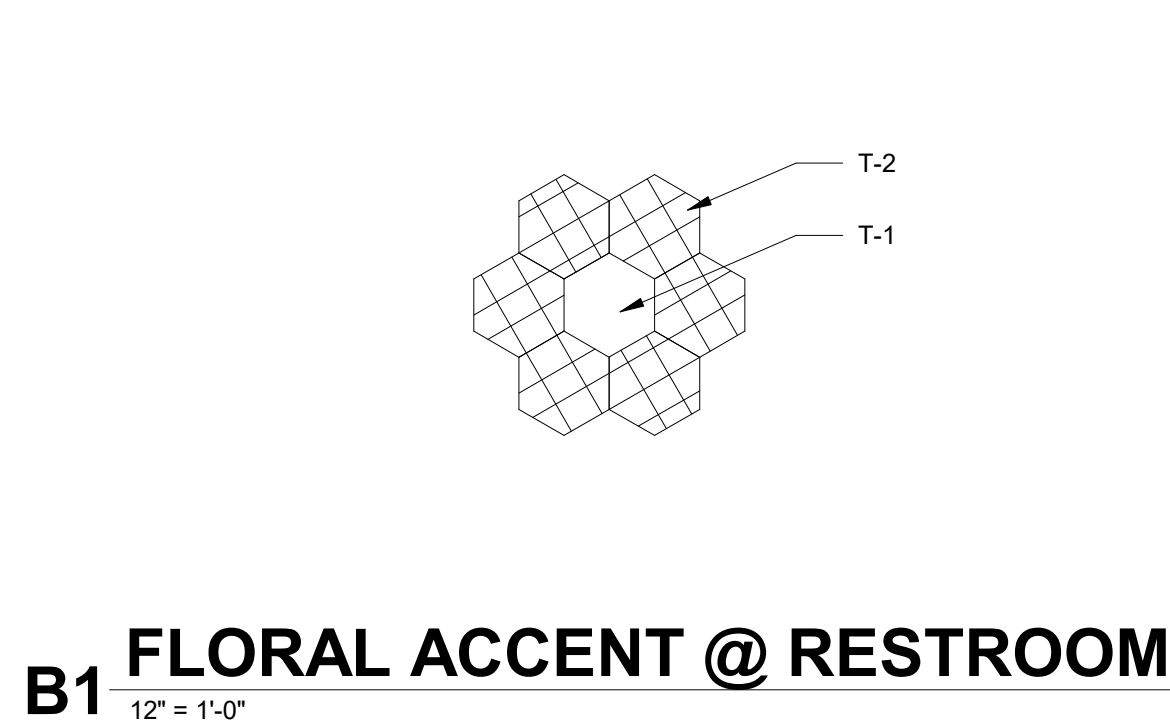
ROOM FINISH SCHEDULE							
No.	ROOM NAME	FLOOR	BASE	WALL	SPECIALTY WALL FINISH	CEILING	COMMENTS
03L	HALLWAY	CPT-1	WD	PNT-2	--	PNT	REFER TO NOTES 7,8,10
03M	HALLWAY	CPT-1	WD	PNT-2	--	PNT	REFER TO NOTES 8,10
03N	OFFICE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 1,2,3,4,8,10,11
03O	OFFICE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 5,8,10
03P	MULTI-USE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 1,5,8,10
03Q	OFFICE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 1,5,8,10,12
03R	OFFICE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 2,3,4,9,10
03S	BREAKROOM	EXIST	WD	PNT-2	--	SATC	REFER TO NOTE 1
03T	RR	T-1, T-2, T-3, T-4, T-5	TB-1	EPNT-1	T-6	SATC	REFER TO ELEVATIONS FOR EXTENT OF T-6, REFER TO NOTES 1,2,6
03U	OFFICE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 5,8,10
03V	OFFICE	CPT-1	WD	PNT-3	--	PNT	REFER TO NOTES 2,3,4,9,10

ROOM FINISH SCHEDULE GENERAL NOTES:

- ALL EXISTING WOOD TRIM SHALL BE REUSED, INCLUDING BASE, RUNNING TRIM, AND DOOR CASINGS; REFINISH ALL WOOD TRIM TO MATCH APPROVED STAIN COLOR. CONTRACTOR'S OPTION TO PROVIDE AND INSTALL NEW TO MATCH HISTORIC PROFILES; FINISH TO MATCH APPROVED STAIN COLOR.
- FILL AND PATCH ALL DENTS, AND OTHER IMPERFECTIONS IN EXISTING AND NEW GYPSUM BOARD AND PLASTER SURFACES PRIOR TO PAINTING
- REMOVE AND REINSTALL WD BASE SHOE TRIM FOR CARPET INSTALLATION
- REMOVE AND REINSTALL ALL ITEMS FROM WALLS FOR PLASTER REFINISHING, INCLUDING COVER PLATES, VISUAL BOARDS, ETC.
- REFINISH ALL EXISTING WOOD DOORS FOR UNIFORM APPEARANCE; REMOVE AND REINSTALL ALL HARDWARE, ETC. TO ACHIEVE THE WORK.

ROOM FINISH SCHEDULE SPECIFIC NOTES:

- REPAIR AND PATCH ALL DENTS, CHIPS, AND CRACKS IN WALL SURFACES AND INSTALL SKIM COAT, MIN. 3MM, FOR UNIFORM APPEARANCE
- REFINISH ALL WOOD TRIM TO MATCH LIGHTER COLOR IN OFFICE 03P OR PROVIDE NEW TO MATCH PROFILES
- PROVIDE AND INSTALL WOOD APRON TRIM AT EXTERIOR WINDOW SILLS TO MATCH TRIM IN OFFICE 03P
- PROVIDE AND INSTALL WOOD CHAIR RAIL TRIM FULL PERIMETER, MATCH EXISTING PROFILE
- PROVIDE AND INSTALL WOOD RUNNING TRIM AT NEW WALL TO MATCH EXISTING
- REMOVE JAMB AND HEAD CASINGS; PROVIDE AND INSTALL CASINGS TO MATCH TYP. DOOR CASINGS
- PAINT WOOD ATTIC ACCESS DOOR AND PERIMETER TRIM
- REPAIR AND PATCH ALL DENTS, CHIPS, AND CRACKS IN CEILING SURFACES AND INSTALL SKIM COAT, MIN. 3MM, FOR UNIFORM APPEARANCE
- PROVIDE AND INSTALL SUSPENSION SYSTEM, AND GYPSUM CEILING SYSTEM
- REFINISH EXISTING WD FLOOR; SEE ALTERNATE 1
- INSTALL LATH AND PLASTER WALL UP TO ORIGINAL CEILING ELEVATION, FULL PERIMETER
- REPLACE WOOD FLOOR BOARDS WHERE WALL WAS REMOVED; NEW INFILL SHALL MATCH EXISTING LENGTH AND PATTERN OF EXISTING



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PROJECT NAME

JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

OWNER

JOHNSON COUNTY
913 South Dubuque Street
Iowa City, Iowa 52240

PROJECT NO. 18.112

ISSUE

DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS

SHEET NAME

DOOR AND FINISH SCHEDULE

SHEET NUMBER

A-601.5

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PROJECT NAME
JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

OWNER
JOHNSON COUNTY
 913 South Dubuque Street
 Iowa City, Iowa 52240

PROJECT NO. 18.112

ISSUE

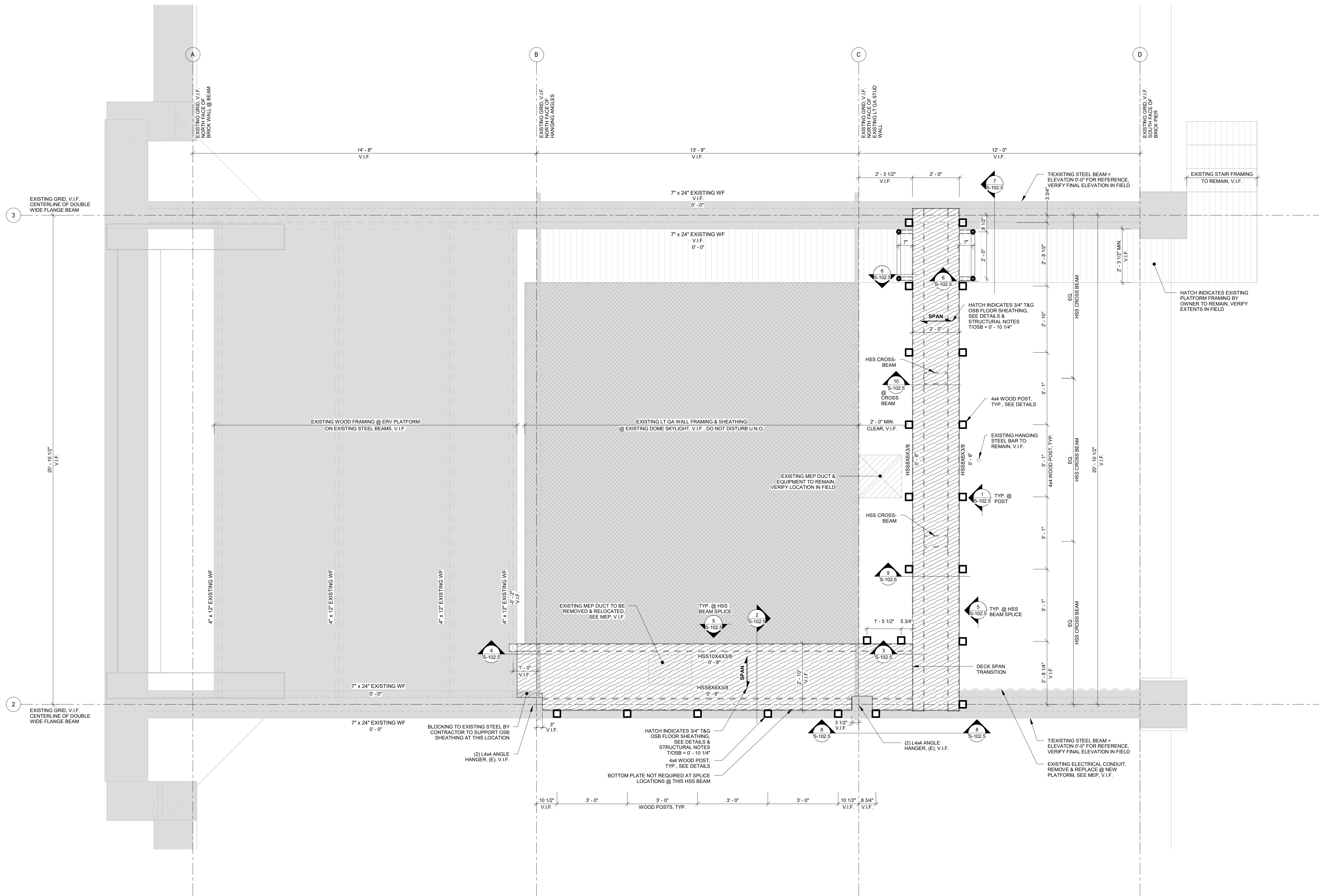
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SHEET NAME
FRAMING PLAN - LEVEL 4 ROOF LOW

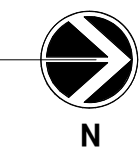
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S-101.5



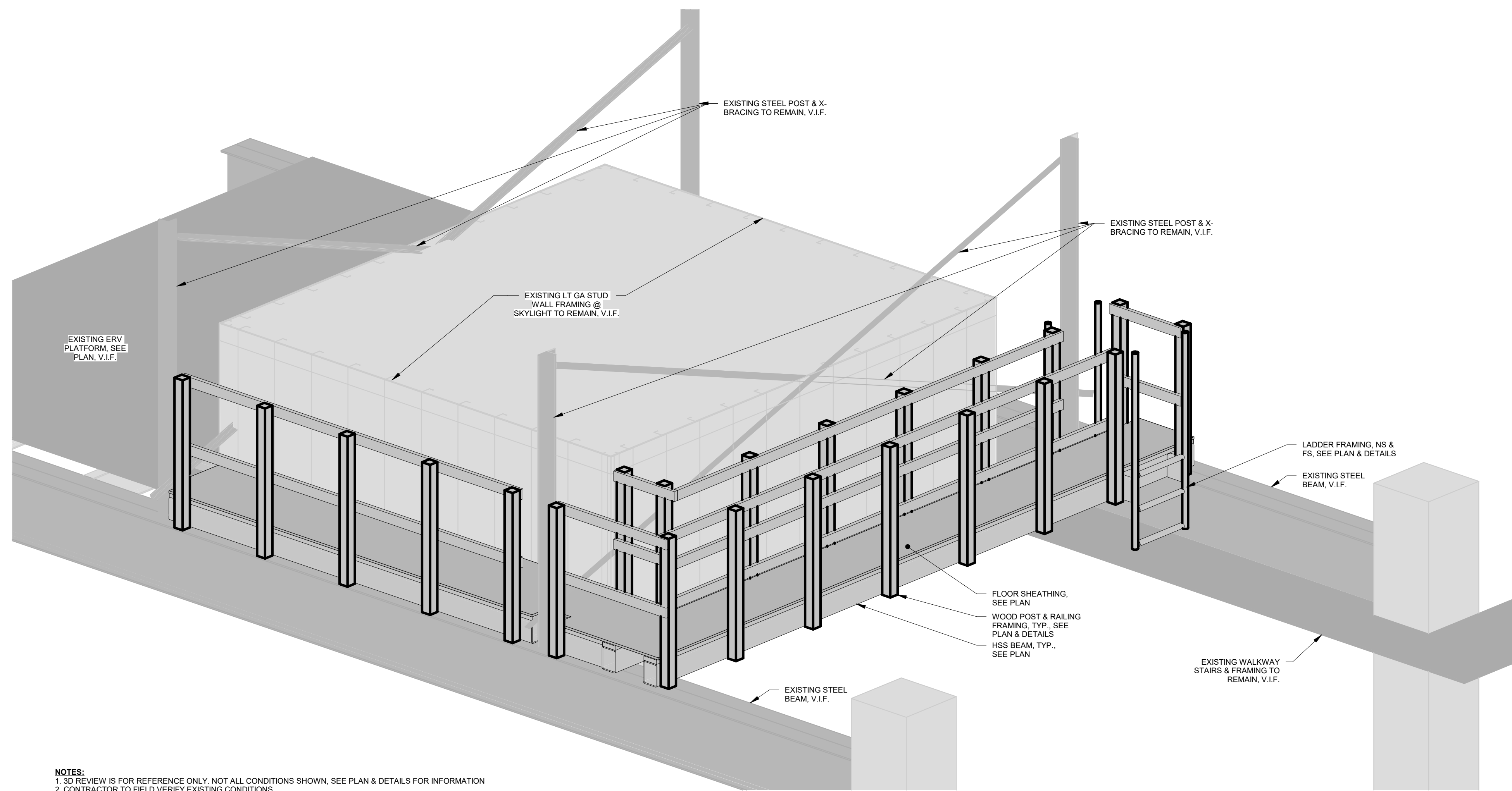
A FRAMING PLAN @ LEVEL 4 - LOW ATTIC
 1/2" = 1'-0"

- PLAN NOTES:
- VERIFY EXISTING CONDITIONS IN FIELD
 - SEE S-102.5 FOR TYPICAL FRAMING DETAILS
 - HSS BEAM SPLICE LOCATION @ CONTRACTOR'S DISCRETION FOR CONSTRUCTABILITY. VERIFY SITE CONDITIONS & COORDINATE w/ STEEL SHOP DRAWINGS FOR BID ONLY. ASSUME SPLICE LOCATION @ 8'-0" O.C. @ HSS BEAMS
 - EXISTING STEEL BEAM NOTED ON PLAN = ELEVATION 0'-0" FOR REFERENCE. VERIFY FINAL ELEVATION IN FIELD
 - FOR GENERAL REPRESENTATION OF LOW ATTIC PLATFORM FRAMING, SEE ISOMETRIC VIEW A / S-102.5



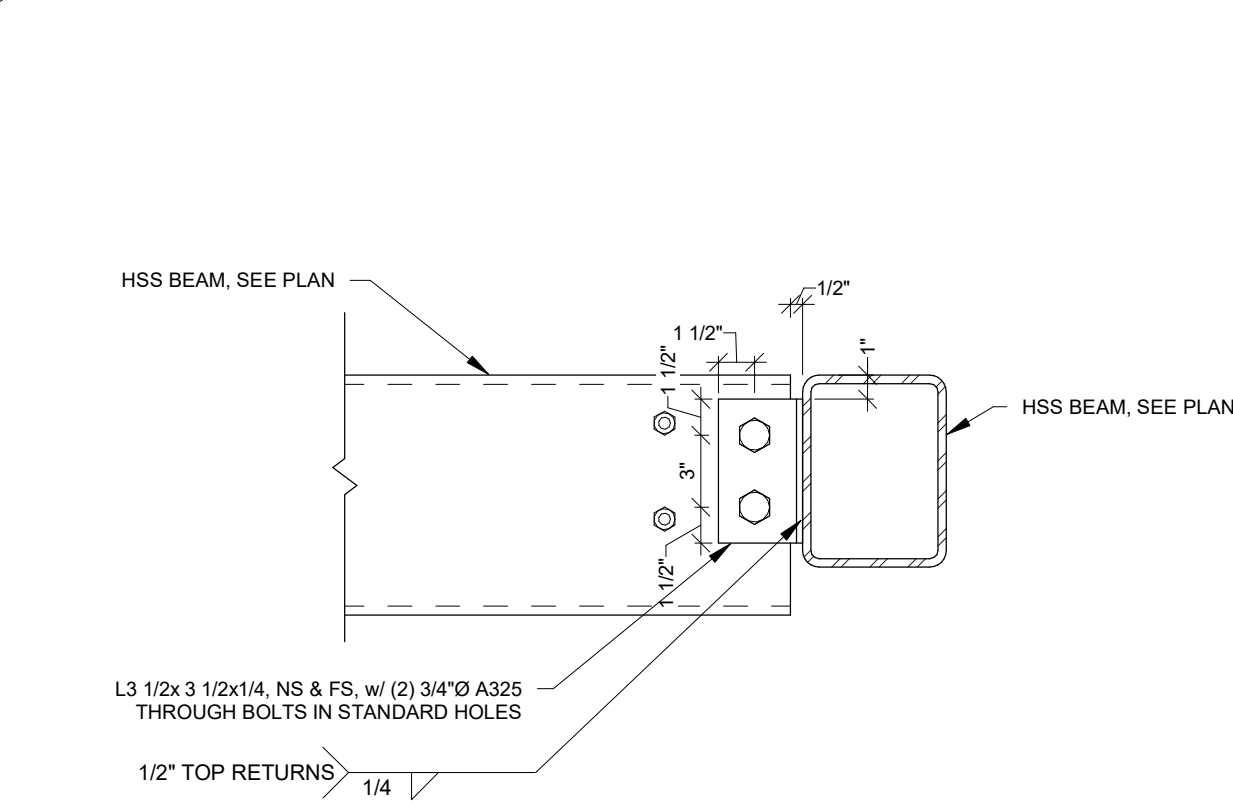
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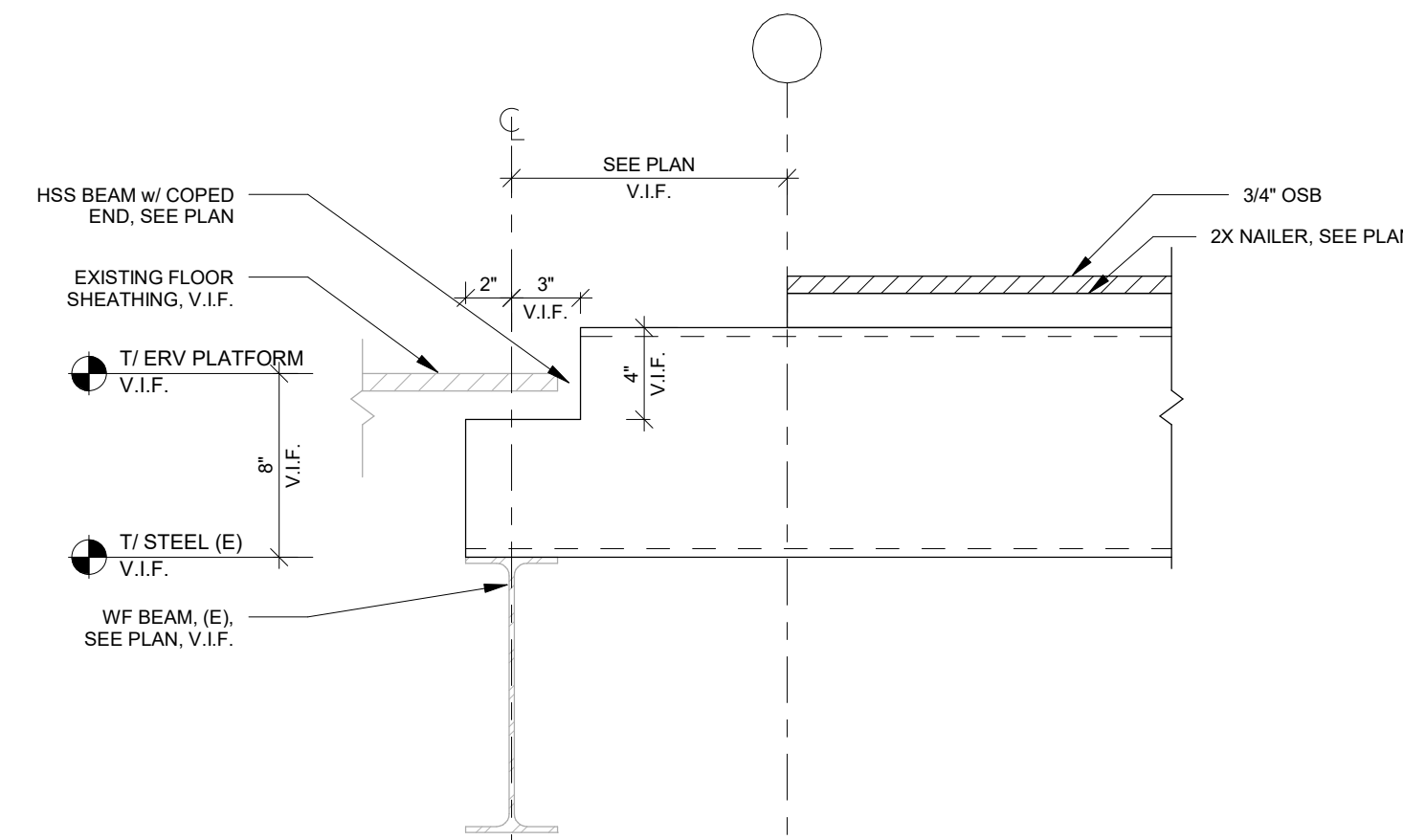


NOTES:
1. 3D REVIEW IS FOR REFERENCE ONLY. NOT ALL CONDITIONS SHOWN. SEE PLAN & DETAILS FOR INFORMATION.
2. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS.

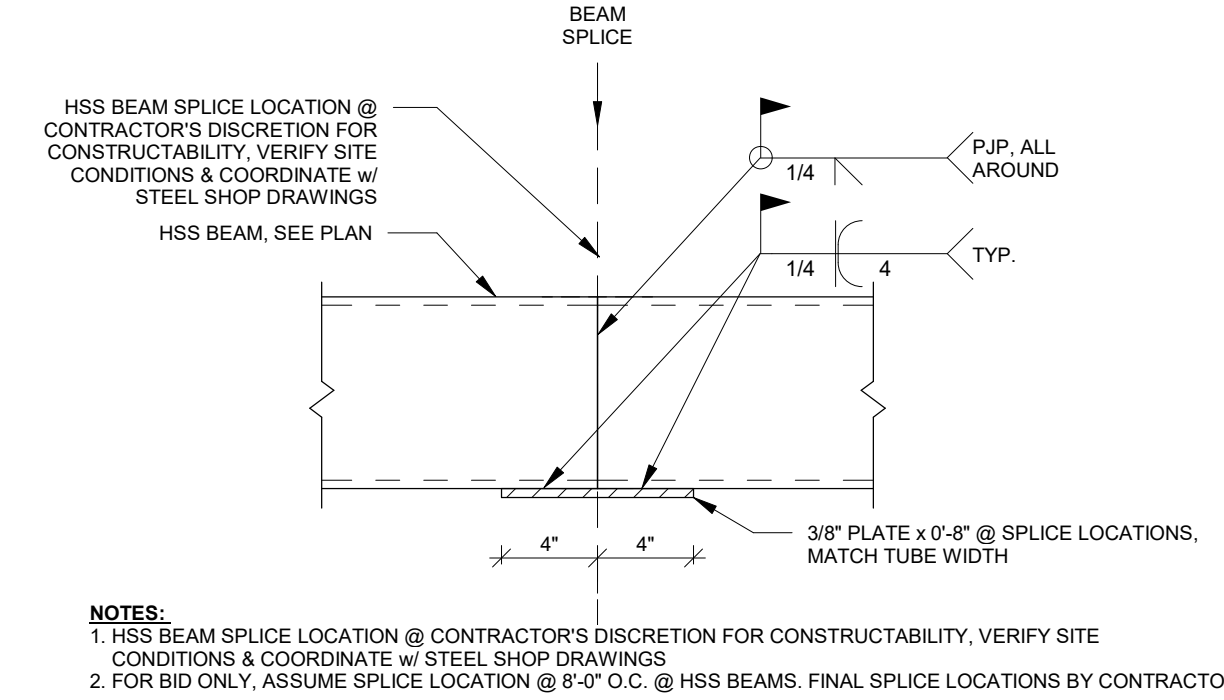
A 3D ISOMETRIC VIEW @ ATTIC PLATFORM



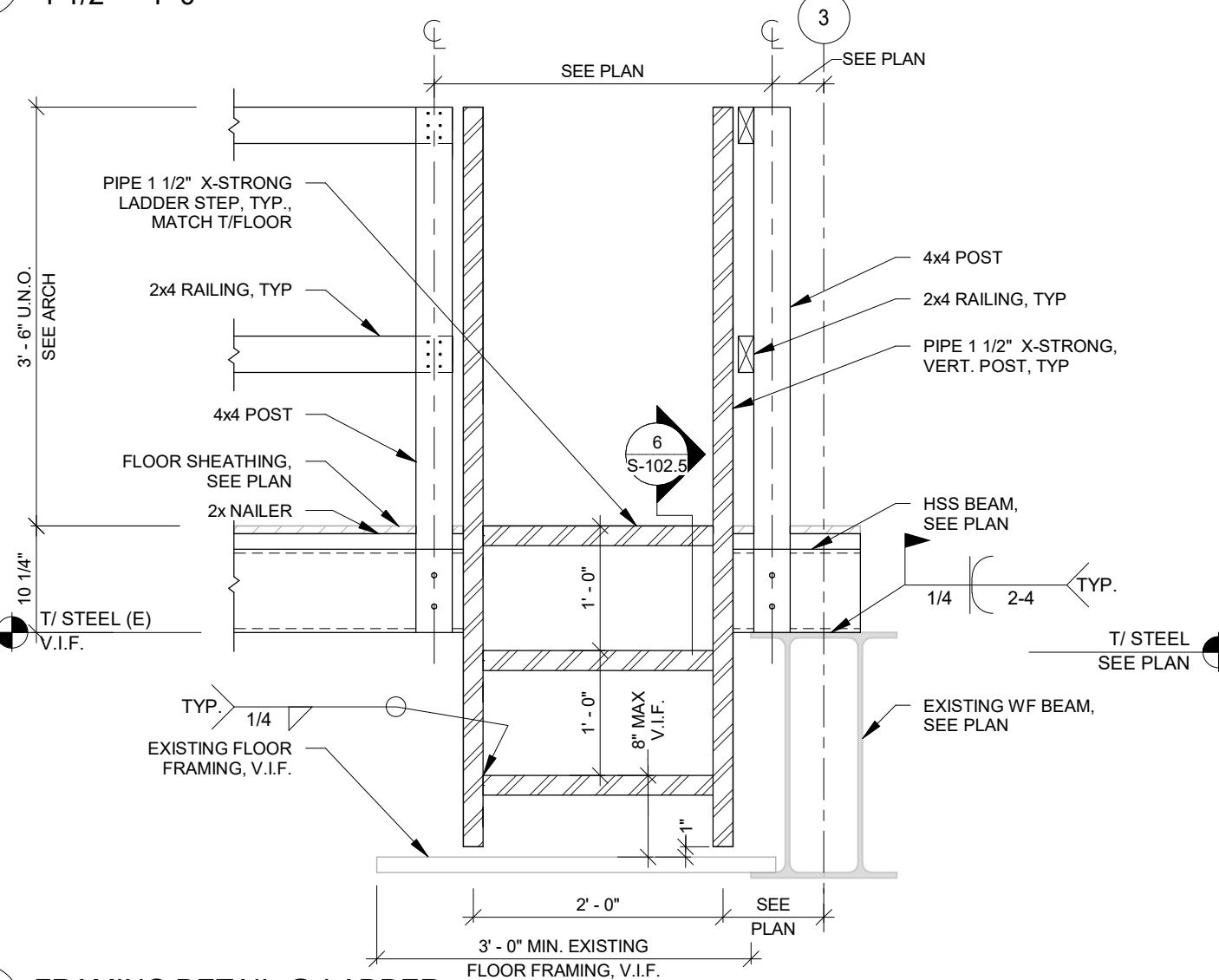
3 FRAMING DETAIL @ HSS TO HSS
1 1/2" = 1'-0"



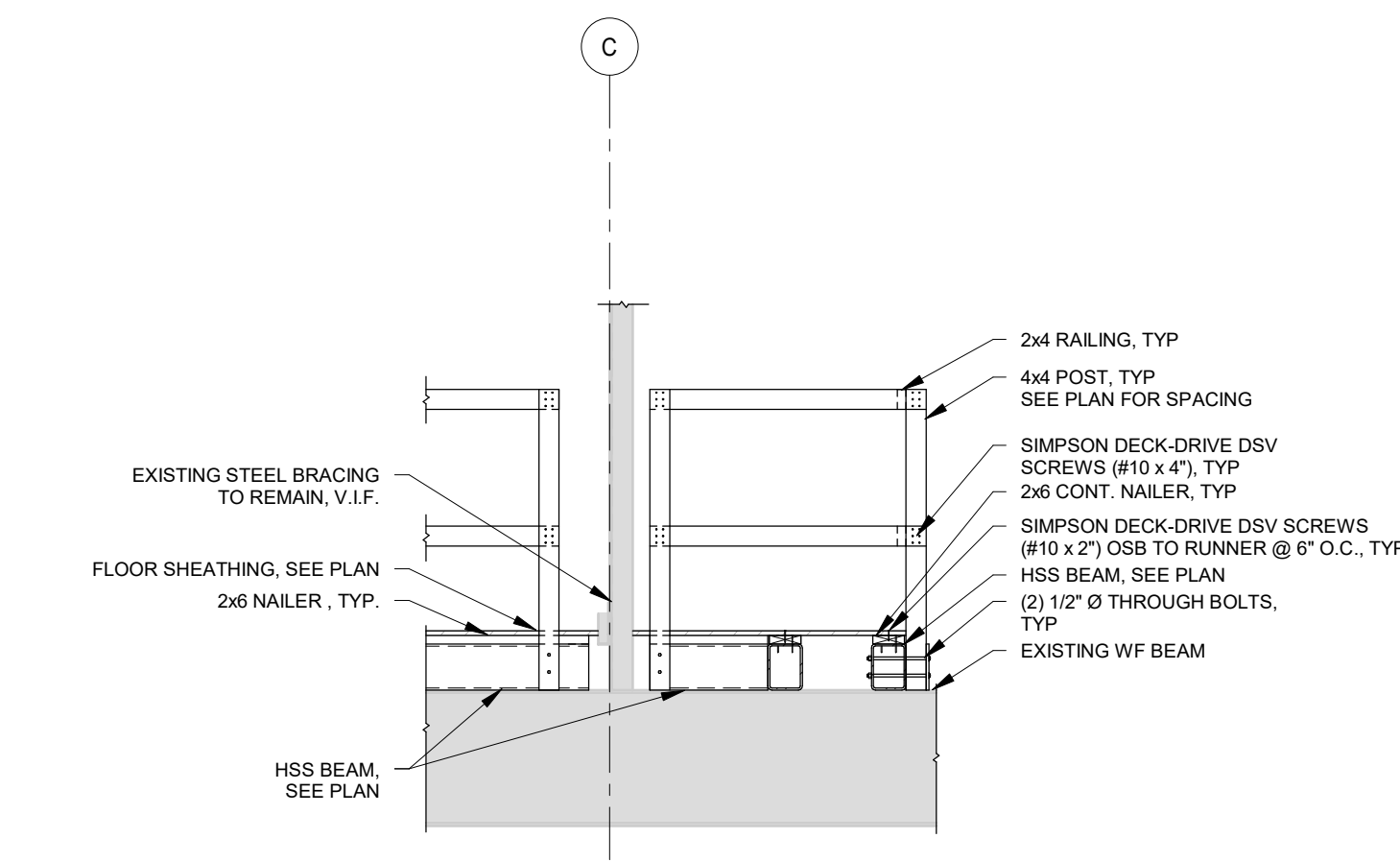
4 NEW HSS BEAM BEARING @ EXISTING WF
1 1/2" = 1'-0"



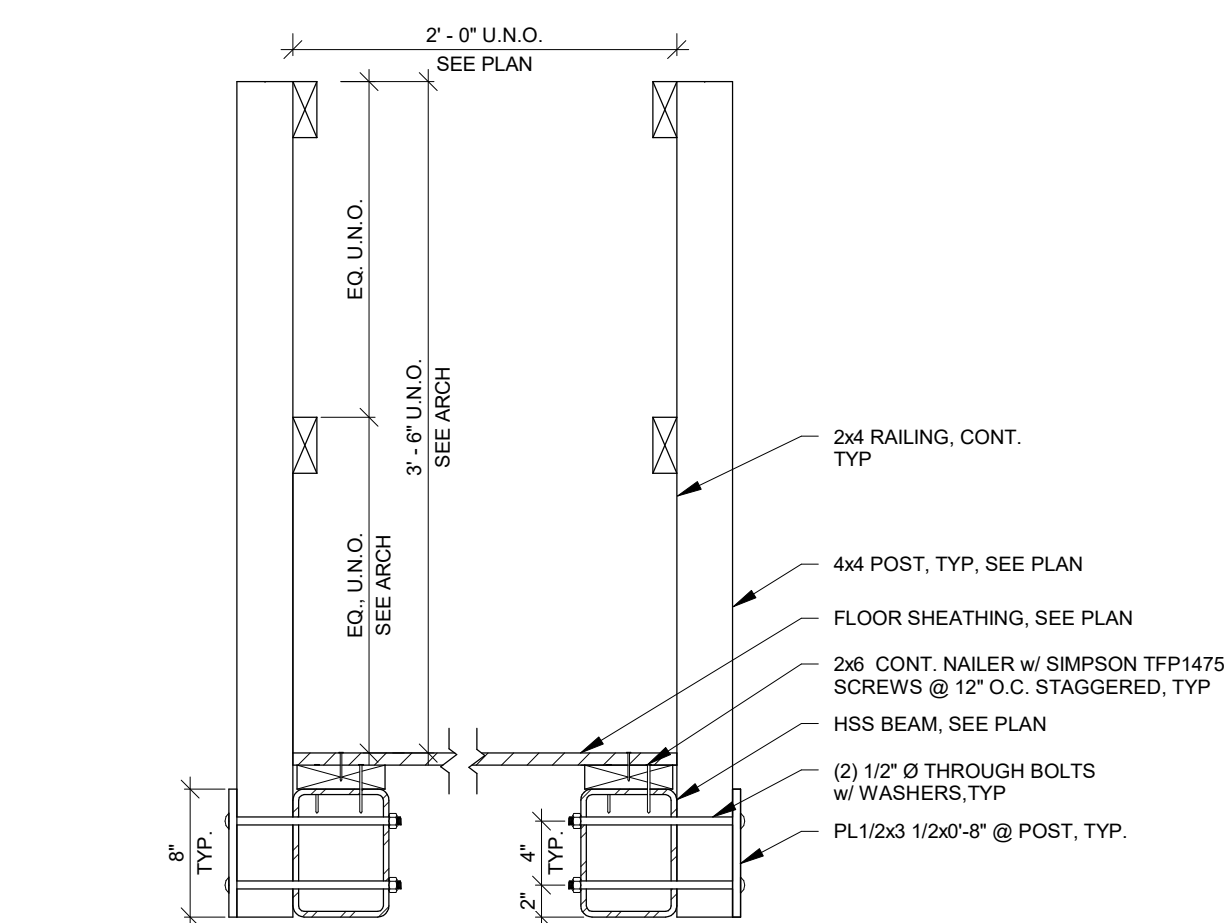
5 TYP. FRAMING DETAIL @ HSS BEAM SPLICE
1 1/2" = 1'-0"



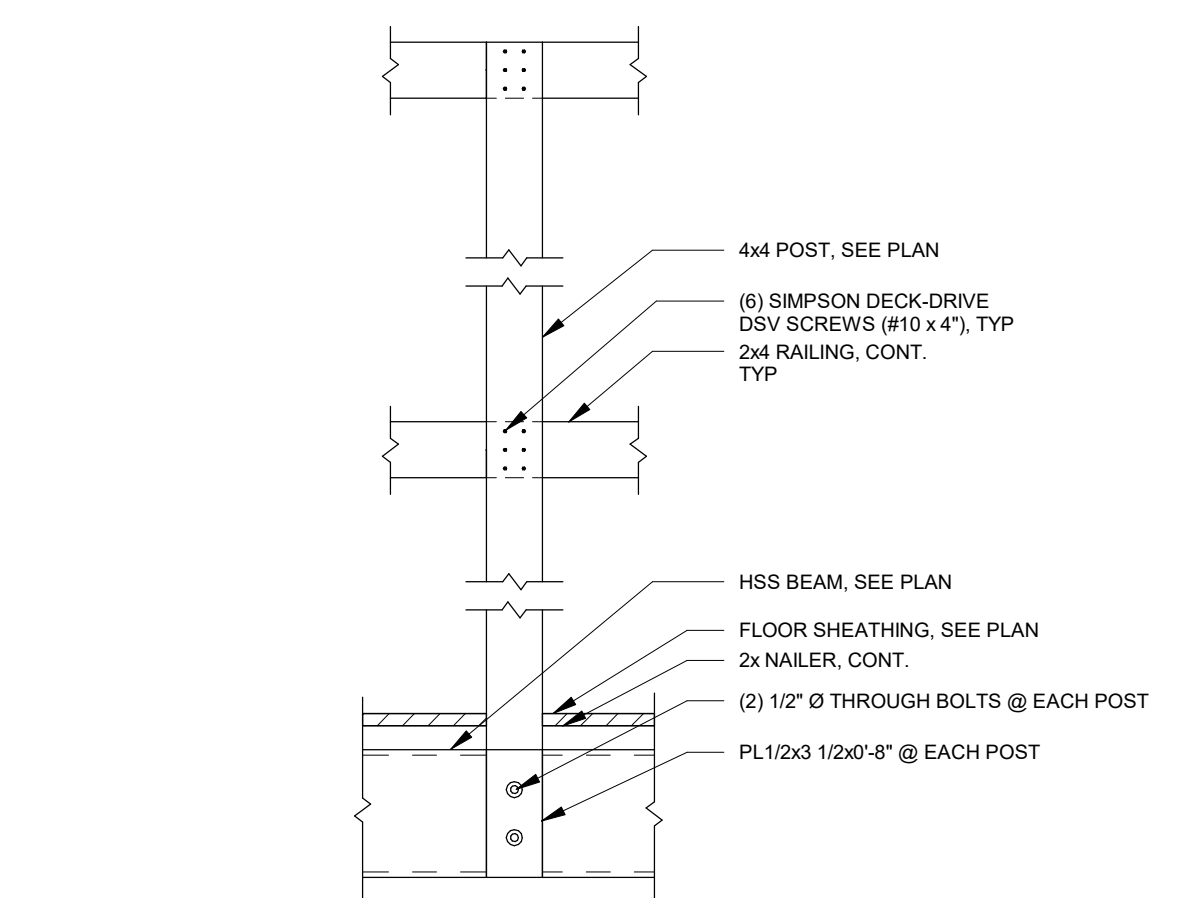
7 FRAMING DETAIL @ LADDER
3/4" = 1'-0"



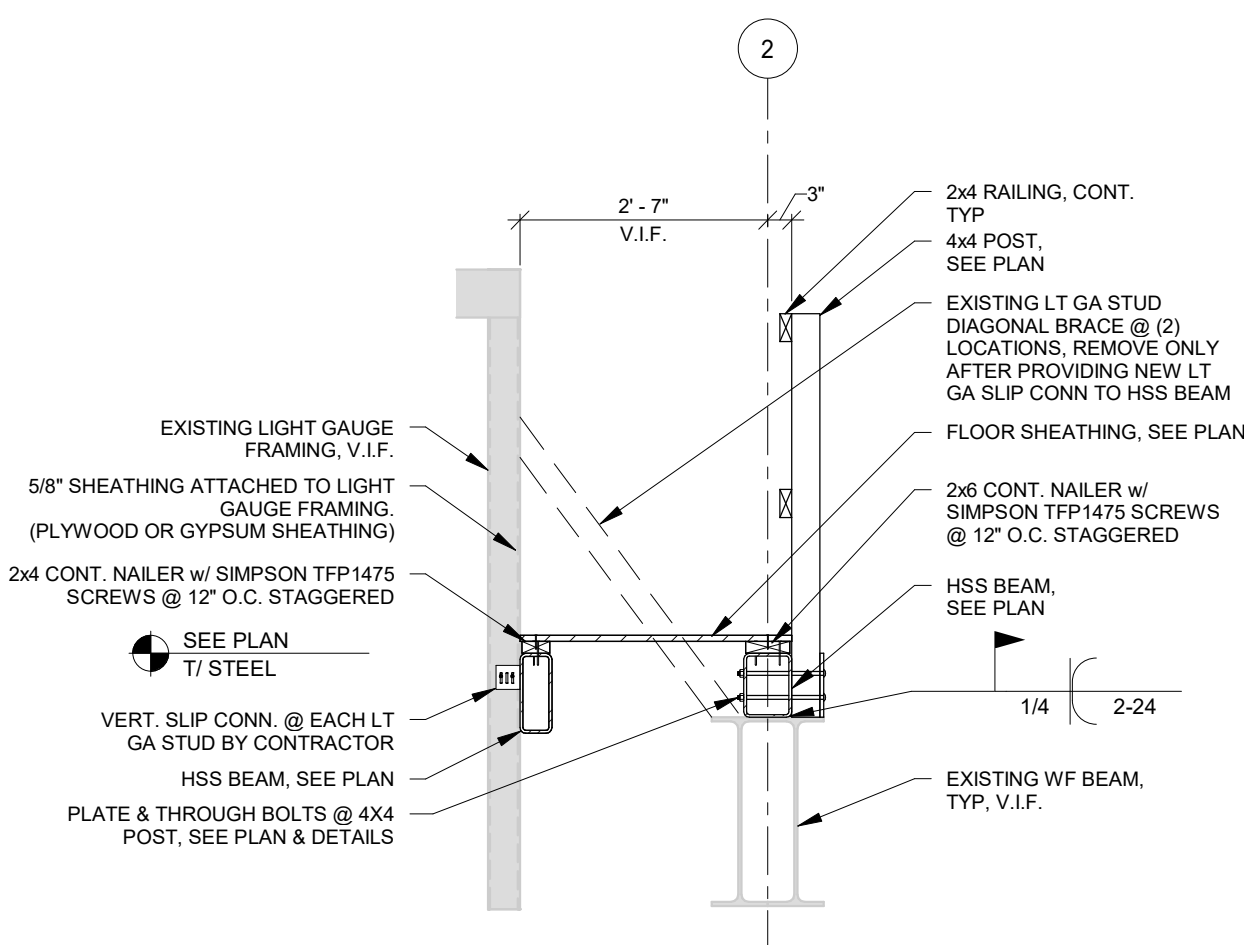
8 FRAMING DETAIL @ HANGER
3/8" = 1'-0"



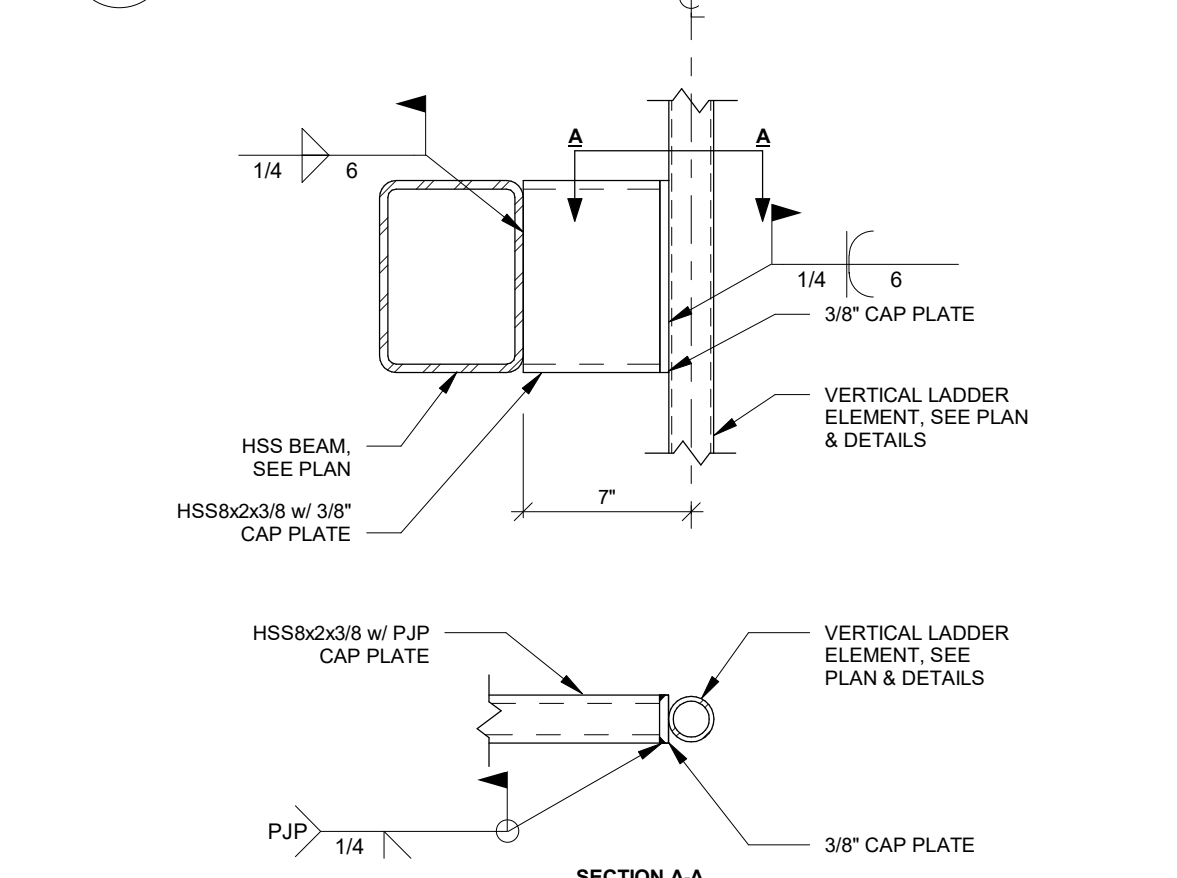
9 FRAMING PLAN @ PLATFORM
1" = 1'-0"



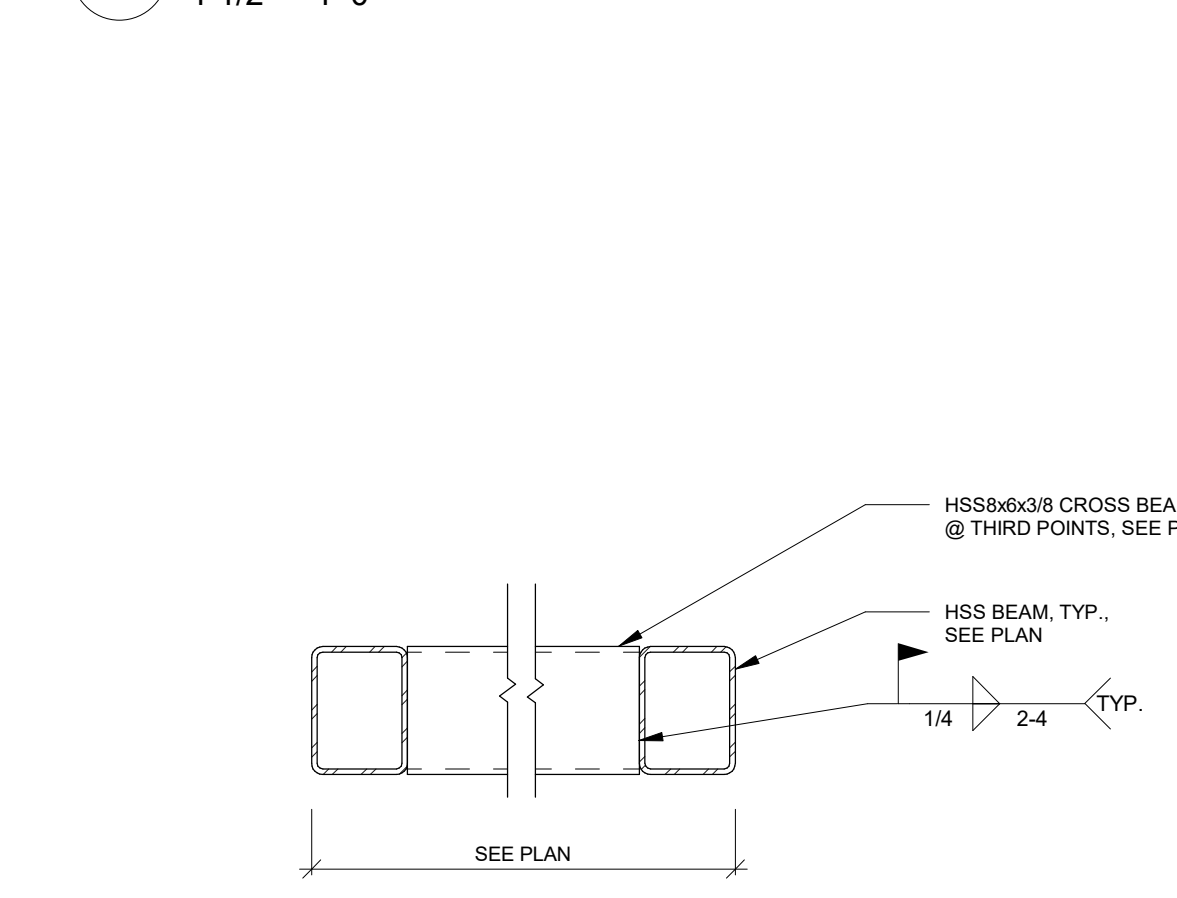
1 FRAMING DETAIL @ RAILING
1" = 1'-0"



2 FRAMING DETAIL @ EXISTING WF
1/2" = 1'-0"



6 FRAMING DETAIL @ LADDER SUPPORT
1 1/2" = 1'-0"



10 FRAMING DETAIL @ HSS CROSS BEAM
1" = 1'-0"

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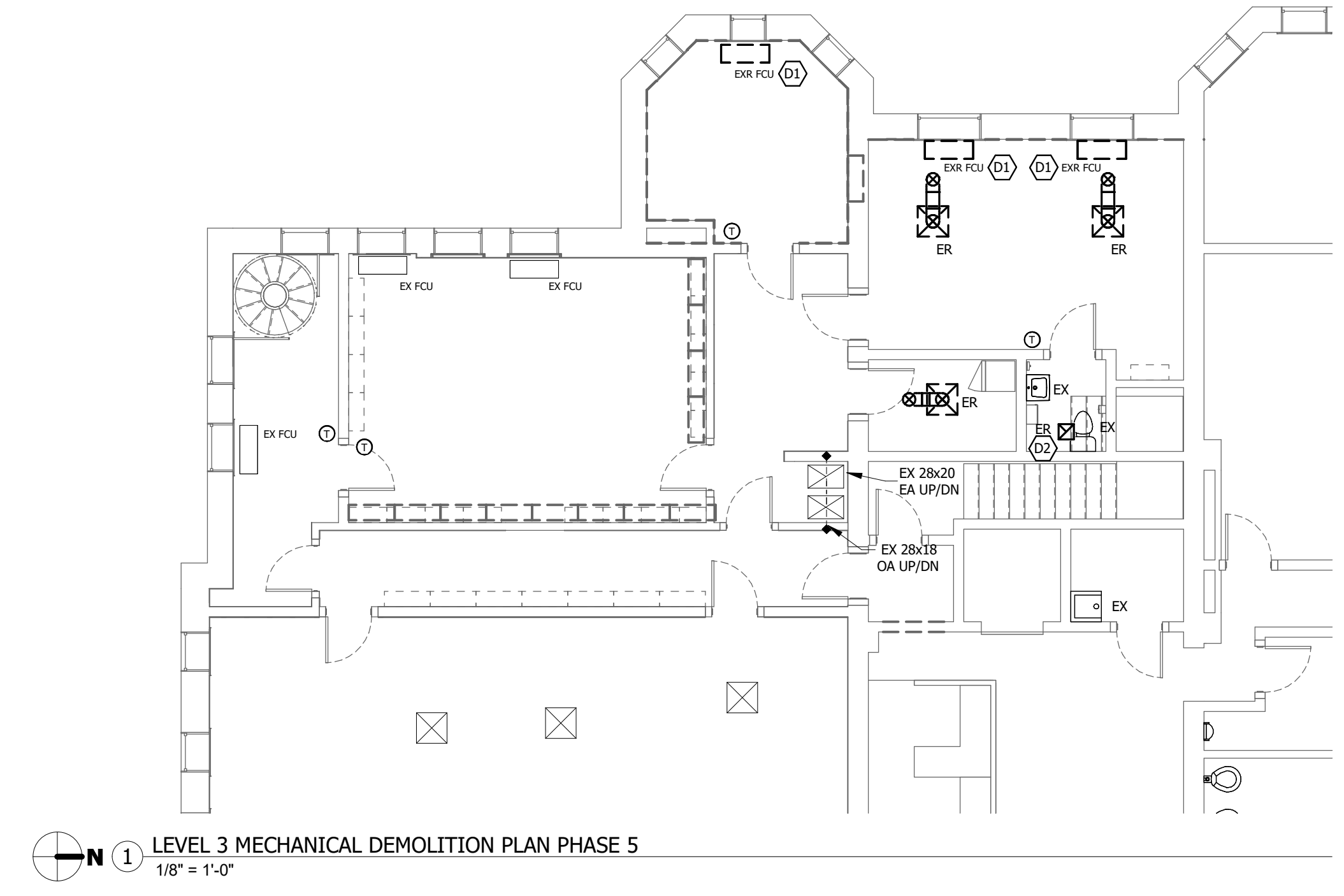
CONSULTANTS
MODUS Engineering
 MEPT
 118 East College St
 Iowa City, Iowa 52240
 319.248.4600

DEMOLITION GENERAL NOTES:

- A. DEMOLITION DRAWINGS ARE BASED ON EXISTING AVAILABLE DRAWINGS AND CASUAL FIELD OBSERVATION. MECHANICAL AND ELECTRICAL CONTRACTORS SHALL FIELD VERIFY THE SITE AND INCLUDE ALL REQUIRED DEMOLITION IN THE BID.
- B. ALL REQUIRED DEMOLITION IS NOT INDICATED. IT IS THE INTENT OF THESE DOCUMENTS THAT ALL MECHANICAL AND ELECTRICAL SYSTEMS (NOT TO BE REUSED OR EXTENDED) BE REMOVED. COORDINATE WITH ARCHITECTURAL DRAWINGS.
- C. REFER TO SPECIFICATIONS AND OTHER SHEETS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- D. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS ON FLOOR CUTTING AND CEILING REMOVAL. CONTRACTOR SHALL COORDINATE WORK TO BE CONSISTENT WITH SCOPE OF GENERAL CONTRACTOR'S DEMOLITION.

DEMOLITION REFERENCED NOTES:

- D1. REMOVE FAN COIL UNIT FOR FUR. OUT OF EXISTING WALL. REMOVE MOUNTING HARDWARE AS REQUIRED. SAVE ALL EQUIPMENT FOR REINSTALLATION AFTER WALL WORK IS COMPLETE.
- D2. REMOVE EXISTING EXHAUST GRILLE AND PREPARE EXISTING EXHAUST DUCTWORK FOR NEW CONNECTION.



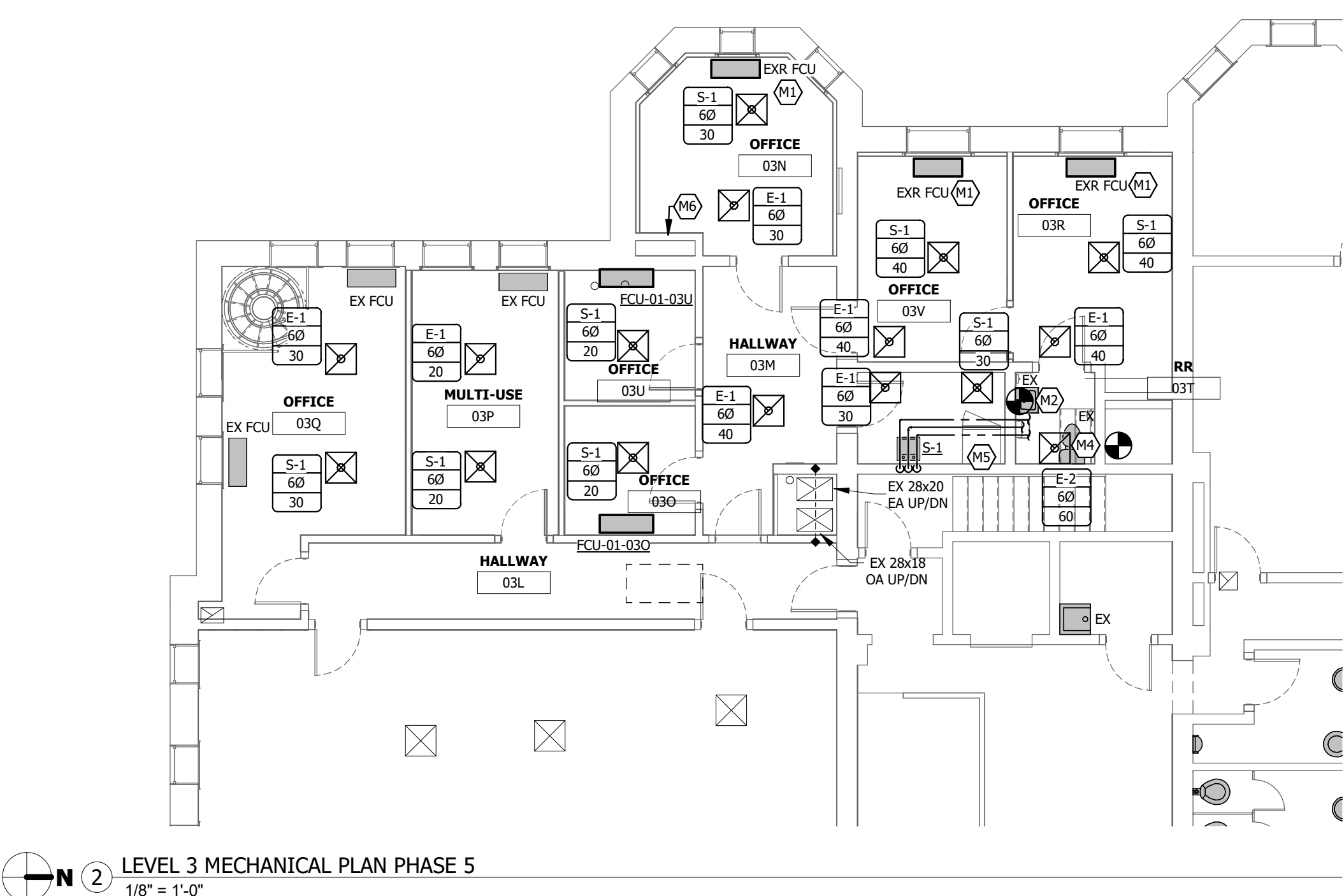
LEVEL 3 MECHANICAL DEMOLITION PLAN PHASE 5
 1/8" = 1'-0"

NEW GENERAL NOTES:

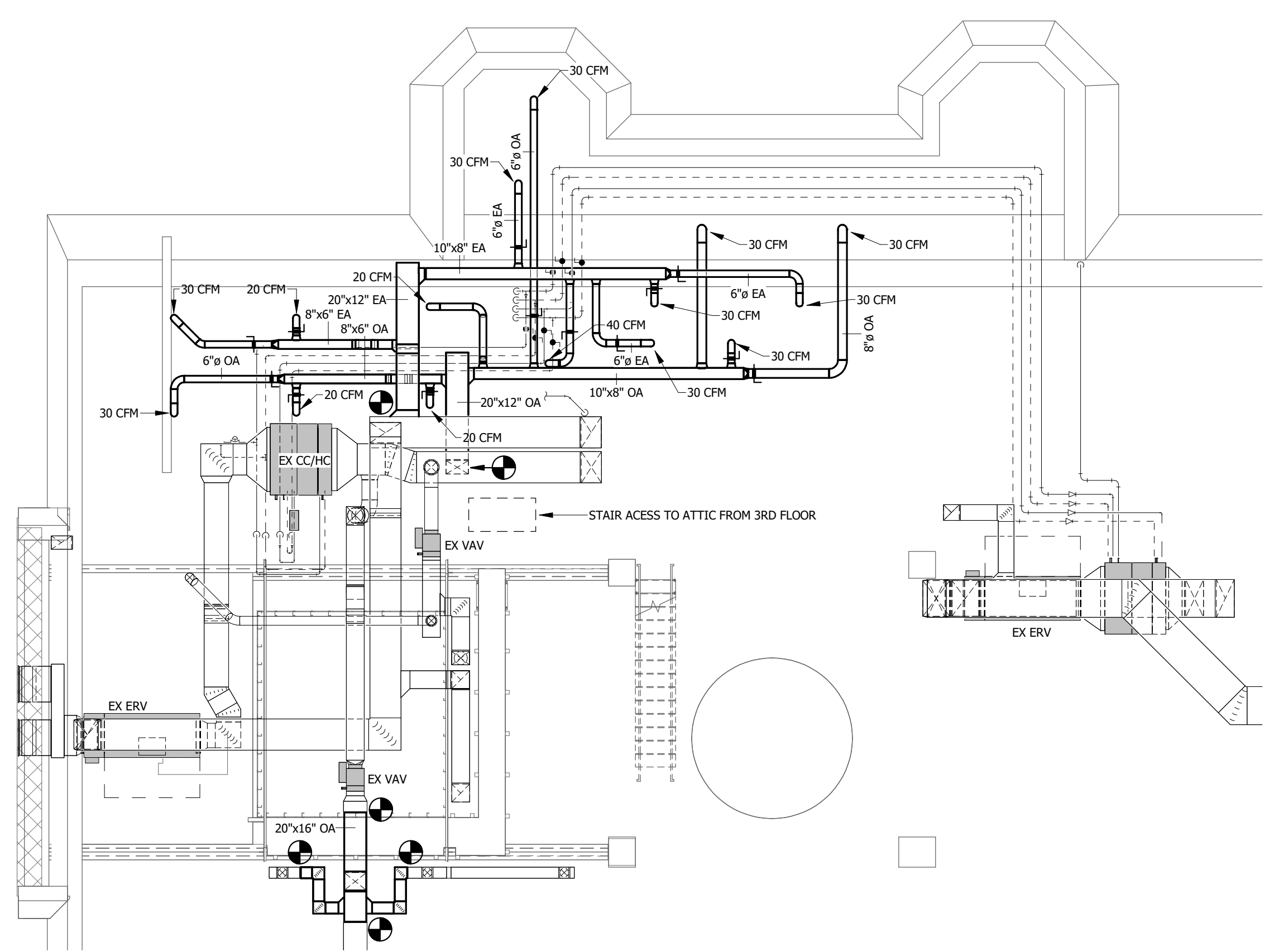
- A. LAYOUT AND ROUTING SHOWN IS DIAGRAMMATIC AND SCHEMATIC IN NATURE. NOT ALL OFFSETS MAY BE SHOWN. CONTRACTOR SHALL VERIFY EXACT ROUTING REQUIRED AND NUMBER OF OFFSETS AND TRANSITIONS.
- B. COORDINATE THERMOSTAT LOCATIONS WITH CASEWORK, WALL TYPES, AND FURNISHINGS PRIOR TO ROUGH-IN.
- C. COORDINATE SUPPLY, RETURN, AND EXHAUST GRILLE/DIFFUSER LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND ALL TRADES.
- D. COORDINATE DUCT ROUTING IN LOCATIONS WITH EXISTING CONDITIONS. FIELD VERIFY EXISTING CONDITIONS PRIOR TO ROUGH-IN.

NEW REFERENCED NOTES:

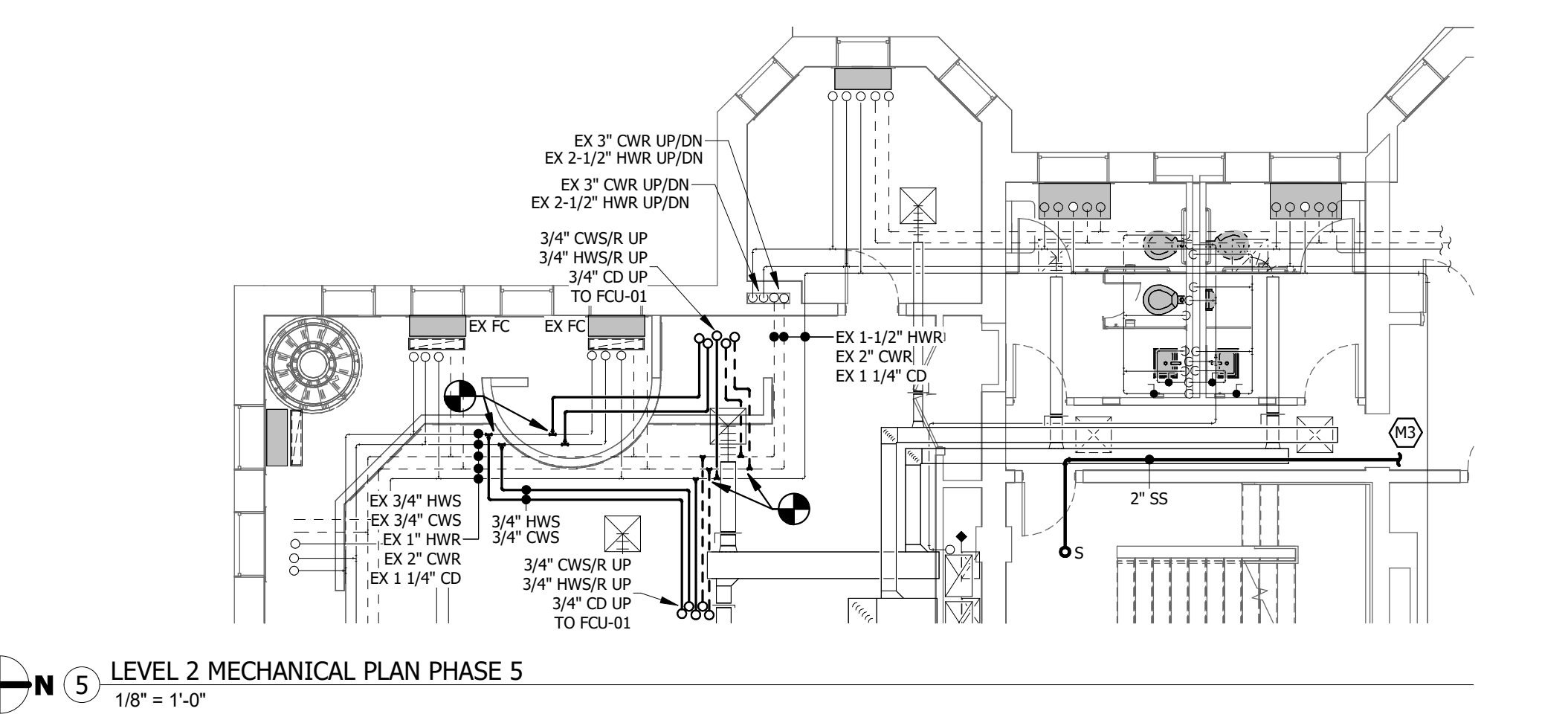
- M1. REINSTALL EXISTING FCU. MODIFY PIPING AND POWER AS REQUIRED.
- M2. ROUTE VENT AND DOMESTIC WATER LINES TO NEAREST EXISTING BRANCH LINES AND CONNECT TO EXISTING.
- M3. ROUTE SANITARY LINE TO NEAREST EXISTING AND CONNECT.
- M4. CONNECT NEW EXHAUST GRILLE TO EXISTING EXHAUST DUCTWORK IN PLENUM ABOVE.
- M5. PROVIDE WATER LINE TO FRIDGE. CONNECT TO COLD WATER SERVING SINK.
- M6. RELOCATE DIFFERENTIAL PRESSURE SENSORS INTO CHASE TO ALLOW FOR CHASE TO BE FINISHED ABOVE REMOVED CEILING. REFER TO ARCHITECTURAL DRAWINGS FOR REQUIRED ACCESS PANELS. ALL TEMPERATURE CONTROLS WORK SHALL BE BY JOHNSON CONTROLS.



LEVEL 3 MECHANICAL PLAN PHASE 5
 1/8" = 1'-0"



ATTIC HVAC PLAN PHASE 5
 1/8" = 1'-0"



LEVEL 2 MECHANICAL PLAN PHASE 5
 1/8" = 1'-0"

PROJECT NAME
JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

OWNER
JOHNSON COUNTY
 913 South Dubuque Street
 Iowa City, Iowa 52240

PROJECT NO. 18.112

ISSUE	
DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS

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SHEET NAME
THIRD LEVEL MECHANICAL PLAN

SHEET NUMBER
M-101.5

FAN COIL UNIT SCHEDULE - PROJECT 5

UNIT TAG	MANUFACTURER	MODEL	DIMENSIONS (LxWxH)	WEIGHT (LBS)	FILTER		FAN		CHILLED WATER COIL						HOT WATER COIL						ELECTRICAL			CHILLED WATER SUPPLY/RETURN (IN)	HEATING WATER SUPPLY/RETRUN (IN)					
					DEPTH (IN)	MERV	CFM	MOTOR TYPE	TOTAL CAPACITY (MBH)	SENSIBLE CAPACITY (MBH)	ENTERING DB/WB	LEAVING DB/WB	EWT/LWT	GPM	FLUID PD (FT)	ROWS	FLUID	TOTAL CAPACITY (MBH)	ENTERING DB	LEAVING DB	EWT/LWT	GPM	FLUID PD (FT)			ROWS	FLUID	MCA	MOCp	VOLTAGE/PHASE
FCU-01	DAIKIN	FCVC-102A	35x10x25	84	2	8	200	ECM	4.0	3.6	80/67	61.1/61	45/55	0.8	0.3	2	WATER	8.4	70	108	180/150	0.9	1.4	1	WATER	0.625	15	115/1	3/4	3/4

- NOTES:
 1. PROVIDE WITH FACTORY MOUNTED FUSED DISCONNECT.
 2. UNITS SHALL BE PROVIDED WITH CONDENSATE OVERFLOW SWITCH.
 3. PROVIDE ACCESS PANELS WHERE REQUIRED TO ALLOW ACCESS TO UNIT, FILTER, VALVES, AND CONTROLS. COORDINATE WITH ARCHITECT.
 4. ALL UNITS SHALL BE PROVIDED WITH A CONDENSATE PUMP POWERED THROUGH THE UNIT.

PLUMBING FIXTURE SCHEDULE - PROJECT 5

UNIT TAG	TYPE	MANUFACTURER	MODEL	MATERIAL	COLOR	ADA	DESCRIPTION	MISCELLANEOUS	TRIM	APPROVED EQUALS
S-1	SINK	ELKAY	LRAD171665	STAINLESS STEEL	STEEL	SEE ARCH	17" X 16" X 6-1/2" DEEP SINGLE BOWL, 304SS, 18GA, DROP-IN, SELF RIM, UNDERCOATED, 3 HOLES	COORDINATE WITH CASEWORK DIMENSIONS. SEE ARCHITECTURAL DRAWINGS.	SF-1	JUST, ENGINEER APPROVED EQUAL

PLUMBING FIXTURE TRIM SCHEDULE - PROJECT 5

UNIT TAG	TYPE	MANUFACTURER	MODEL	COLOR	DESCRIPTION	MISCELLANEOUS	APPROVED EQUALS
SF-1	SINK FAUCET	DELTA	26C3934-R7	CHROME	DECK MOUNT FAUCET WITH 8" CENTERS, 9" GOOSENECK SPOUT, VANDAL RESISTANT 1.5 GPM AERATOR OUTLET, 4" WRISTBLADES WITH SANITARY HOODS.	REMOVABLE BASKET STRAINER, 1-1/2" 17 GA CHROME PLATED P-TRAP, TRU BRO LAV GUARD, 1/4" TURN LOOSE KEY STOPS.	ENGINEER APPROVED EQUAL

GRILLES, REGISTERS, AND DIFFUSERS SCHEDULE - PROJECT 5

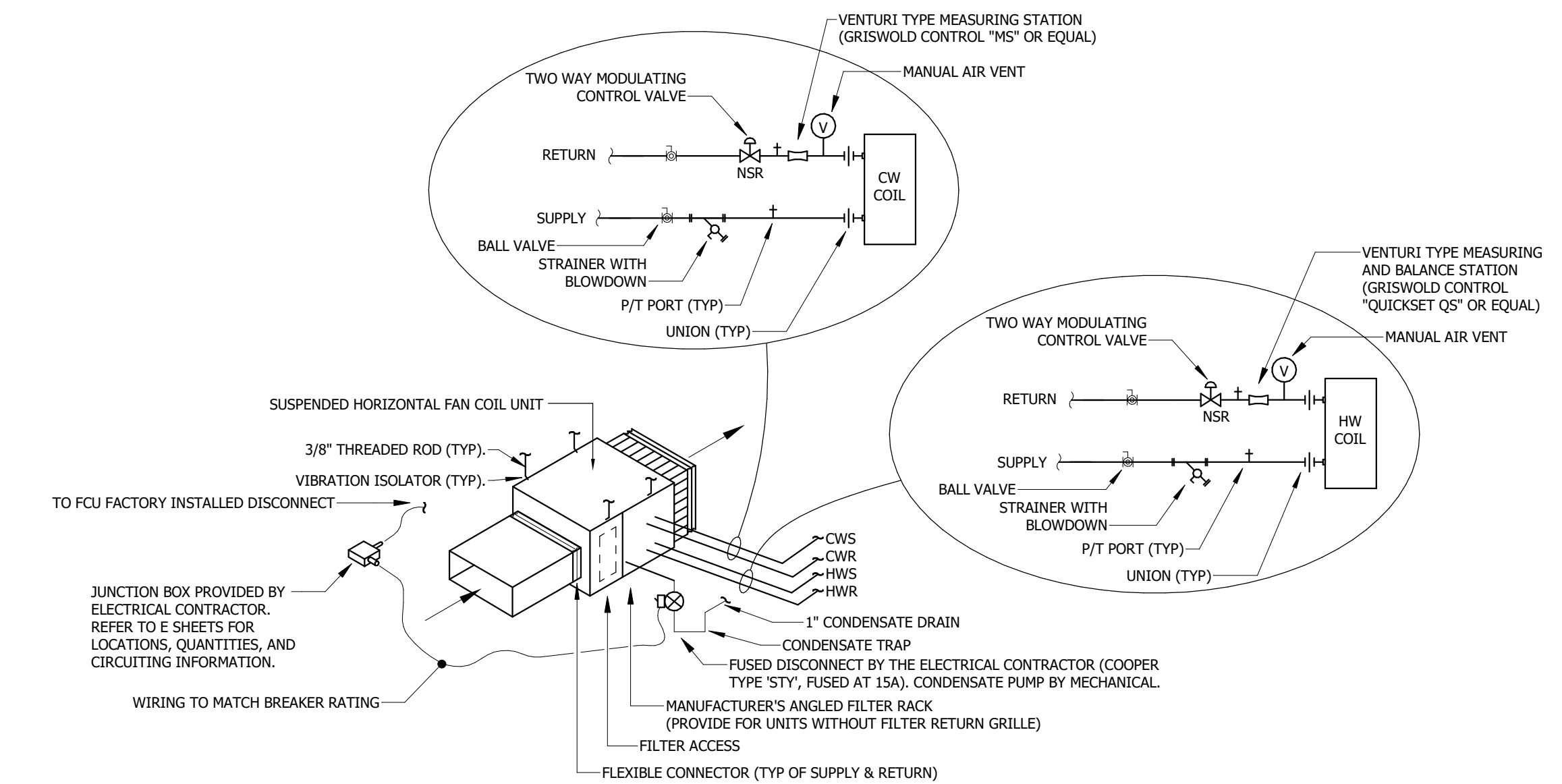
UNIT TAG	MANUFACTURER	MODEL	MATERIAL	SYSTEM TYPE	NECK SIZE	FACE SIZE	MAX N.C.
S-1	SPD	SPD	STEEL	SUPPLY	SEE PLANS	24"x24"	25
E-1	SPD	SPD	STEEL	EXHAUST	SEE PLANS	24"x24"	25
E-2	SPD	SPD	ALUMINIUM	EXHAUST	SEE PLANS	24"x24"	25

- NOTES:
 1. ARCHITECT SHALL SELECT COLOR/FINISH PRIOR TO ORDERING.
 2. VERIFY BORDER/MOUNTING TYPE PRIOR TO ORDERING.

PLUMBING FIXTURE CONNECTION SCHEDULE

ITEM	WASTE SIZE	VENT SIZE	WATER SIZE	
			HOT	COLD
WATER CLOSET (FLUSH VALVE)	4"	2"	-	1-1/2"
URINALS	2"	1-1/2"	-	1"
LAVATORIES	1-1/2"	1-1/2"	1/2"	1/2"
DRINKING FOUNTAIN	1-1/2"	1-1/2"	-	1/2"
FLOOR DRAINS/FLOOR SINKS	3"	1-1/2"	-	-
JANITORS SINK	3"	1-1/2"	3/4"	3/4"
TYPICAL WASTE STACK	4"	-	-	-
TYPICAL VENT STACK	-	3"	-	-

- NOTES:
 1. ALL SANITARY SEWER BELOW GRADE SHALL BE A MINIMUM OF 3" UNLESS OTHERWISE NOTED.
 2. ALL VENT BELOW GRADE SHALL BE A MINIMUM OF 2" UNLESS OTHERWISE NOTED.
 3. NOT ALL FIXTURES ON THIS SCHEDULE MAY BE USED.



1 FAN COIL (FCU) PIPING DETAIL
 No Scale

PROJECT NAME
JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

OWNER
JOHNSON COUNTY
 913 South Dubuque Street
 Iowa City, Iowa 52240

PROJECT NO. 18.112

ISSUE

DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS

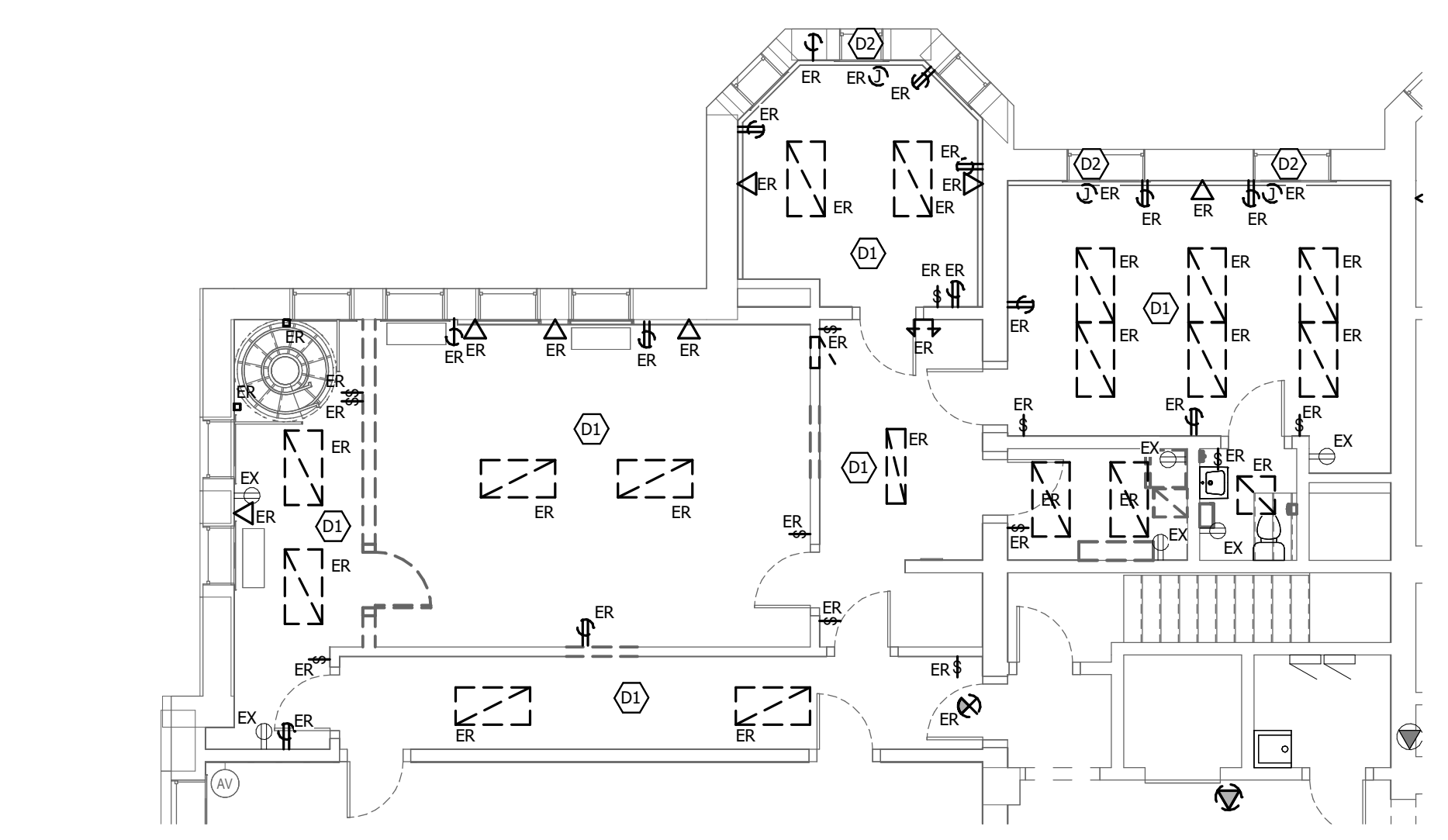
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SHEET NAME
MECHANICAL DETAILS & SCHEDULES

SHEET NUMBER

M-501.5

DATE	DESCRIPTION
12.05.2024	BIDDING DOCUMENTS



LEVEL 3 ELECTRICAL DEMOLITION PLAN
1/8" = 1'-0"

DEMO GENERAL NOTES:

- A. DEMOLITION DRAWINGS ARE BASED ON EXISTING AVAILABLE DRAWINGS AND CASUAL FIELD OBSERVATION. ELECTRICAL CONTRACTORS SHALL FIELD VERIFY THE SITE AND INCLUDE ALL REQUIRED DEMOLITION IN THE BID.
- B. ALL REQUIRED DEMOLITION IS NOT INDICATED. IT IS THE INTENT OF THESE DOCUMENTS THAT ALL MECHANICAL AND ELECTRICAL SYSTEMS (NOT TO BE REUSED OR EXTENDED) BE REMOVED. COORDINATE WITH ARCHITECTURAL DRAWINGS.
- C. REFER TO SPECIFICATIONS AND OTHER SHEETS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- D. REMOVE ALL ELECTRICAL CONNECTIONS, WIRING, AND CONDUIT SERVING ALL MECHANICAL EQUIPMENT TO BE REMOVED.
- E. MAINTAIN FIRE RATINGS OF AFFECTED WALLS AND FLOORS.
- F. EXISTING ELECTRICAL SYSTEMS LOCATED IN WALLS AND CHASES NOT BEING REMOVED OR REUSED FOR NEW SYSTEMS MAY BE ABANDONED IN PLACE. CAP AT MAINS OR IN A CONCEALED LOCATION IF REQUIRED.
- G. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS ON FLOOR CUTTING AND CEILING REMOVAL. CONTRACTOR SHALL COORDINATE WORK TO BE CONSISTENT WITH SCOPE OF GENERAL CONTRACTOR'S DEMOLITION.

DEMO REFERENCED NOTES: (#)

(NOT ALL NOTES MAY BE APPLICABLE TO THIS SHEET)

- D1. REMOVE ALL LIGHTING, RECEPTACLES AND OTHER ELECTRICAL DEVICES UNLESS NOTED OTHERWISE OR NECESSARY FOR THE OPERATION OF DEVICES OUTSIDE THE SCOPE OF REMODELING. REMOVE ASSOCIATED CONDUCTORS AND RACEWAY COMPLETELY.
- D2. DISCONNECT POWER TO FAN COIL UNIT. REMOVE RACEWAY AND ASSOCIATED CONDUCTORS BACK TO NEAREST JUNCTION BOX. PREPARE TO EXTEND TO NEW UNIT LOCATION. REFER TO NEW WORK PLAN FOR ADDITION DETAILS.

ELECTRICAL GENERAL NOTES:

- A. PROVIDE ALL NEW ELECTRICAL DEVICES AND FACEPLATES FOR EXISTING (EX) DEVICES SHOWN.
- B. ALL DISCONNECTS ON MECHANICAL EQUIPMENT SHALL BE MOUNTED ON STRUCTURE TO ALLOW REMOVAL OF THE EQUIPMENT FOR MAINTENANCE WITH A MINIMUM OF WIRING WORK. VERIFY NEC CLEARANCE REQUIREMENTS ARE MET PRIOR TO ROUGH-IN.
- C. MAINTAIN SERVICE CLEARANCE AROUND ALL MECHANICAL & ELECTRICAL EQUIPMENT. DO NOT ROUTE PIPING OR CONDUIT IN CLEARANCE SPACE.
- D. SURFACE RACEWAY SHALL NOT BE USED IN ANY FINISHED AREAS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- E. ALL RECEPTACLE CIRCUITS SHALL HAVE DEDICATED NEUTRALS.
- F. INSTALL DEVICES SUCH THAT NO TWO DEVICES ON OPPOSITE SIDES OF SAME WALL ARE WITHIN 6" OF EACH OTHER.
- G. PROVIDE CONDUIT SLEEVES WITH INSULATED BUSHINGS SERVING ALL LOW VOLTAGE CABLING. DO NOT EXCEED 40% FILL.
- H. PRIOR TO ROUGH-IN, COORDINATE ALL WALL DEVICES WITH FINAL CASEWORK ELEVATIONS AND OTHER TRADES. CONFLICTS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.
- I. ALL FLOOR BOXES SHALL HAVE THEIR EXACT ROUGH-IN LOCATION DETERMINED BY DESIGN TEAM THROUGH DIMENSIONED DRAWINGS SIGNED BY OWNER PRIOR TO ROUGH-IN. LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY.
- J. IN ROOMS WHERE MULTIPLE COUNTER HEIGHTS EXIST, ALL ABOVE-COUNTER RECEPTACLE SHALL BE INSTALLED AT THE SAME HEIGHT ABOVE FLOOR. COORDINATE WITH DESIGN TEAM DURING CONSTRUCTION.
- K. REFER TO T-SHEETS FOR ADDITIONAL ROUGH-IN INFORMATION. ALL AUDIO INPUTS SHALL BE ROUGHED IN ADJACENT TO RECEPTACLES SHOWN ON THIS PLAN UNLESS NOTED OTHERWISE.
- L. REFER TO ARCHITECTURAL ELEVATIONS AND REFLECTED CEILING PLANS FOR SPECIFIC DEVICE ROUGH-IN AND PLACEMENT. ANY DEVIATIONS FROM THE ARCHITECTURAL ELEVATIONS AND RCP'S SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO ROUGH-IN. IF A DEVICE IS REQUIRED PER SPECIFICATION, REQUIRED FOR OPERATION, OR IS DIFFERENT IN CONFIGURATION THAN SHOWN ON ELEVATIONS AND RCP'S, CLARIFICATION AND DIRECTION MUST BE GIVEN BY THE ARCHITECT BEFORE ROUGH-IN. DEVIATIONS OR ADDITIONAL DEVICES NOT APPROVED PRIOR TO INSTALLATION SHALL BE CORRECTED AT CONTRACTORS EXPENSE. THIS INCLUDES BUT IS NOT LIMITED TO THERMOSTATS, CONTROL SYSTEM SENSORS, ELECTRICAL DEVICES, SWITCHES, DIMMERS, TECHNOLOGY DEVICES, A/V DEVICES, SPEAKERS, FIRE ALARM DEVICES, ETC.
- M. CEILING CONTRACTOR SHALL PROVIDE AND INSTALL CEILING ACCESS PANELS FOR ACCESSIBILITY TO ELECTRICAL JUNCTION BOXES, PLUMBING VALVES, BALANCING DAMPERS, CIRCUIT SETTERS, ETC. WHERE ABSOLUTELY NECESSARY. LOCATIONS WILL NEED TO BE APPROVED AND COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.

ELECTRICAL REFERENCED NOTES: (#)

(NOT ALL NOTES MAY BE APPLICABLE TO THIS SHEET)

- E1. EXTEND EXISTING CIRCUIT TO NEW FAN COIL UNIT LOCATION. COORDINATE WITH MECHANICAL CONTRACTOR.
- E2. MODIFY PATHWAY AND WIRING TO EXISTING ERV ELECTRIC PREHEAT COIL FOR NEW WALKWAY.

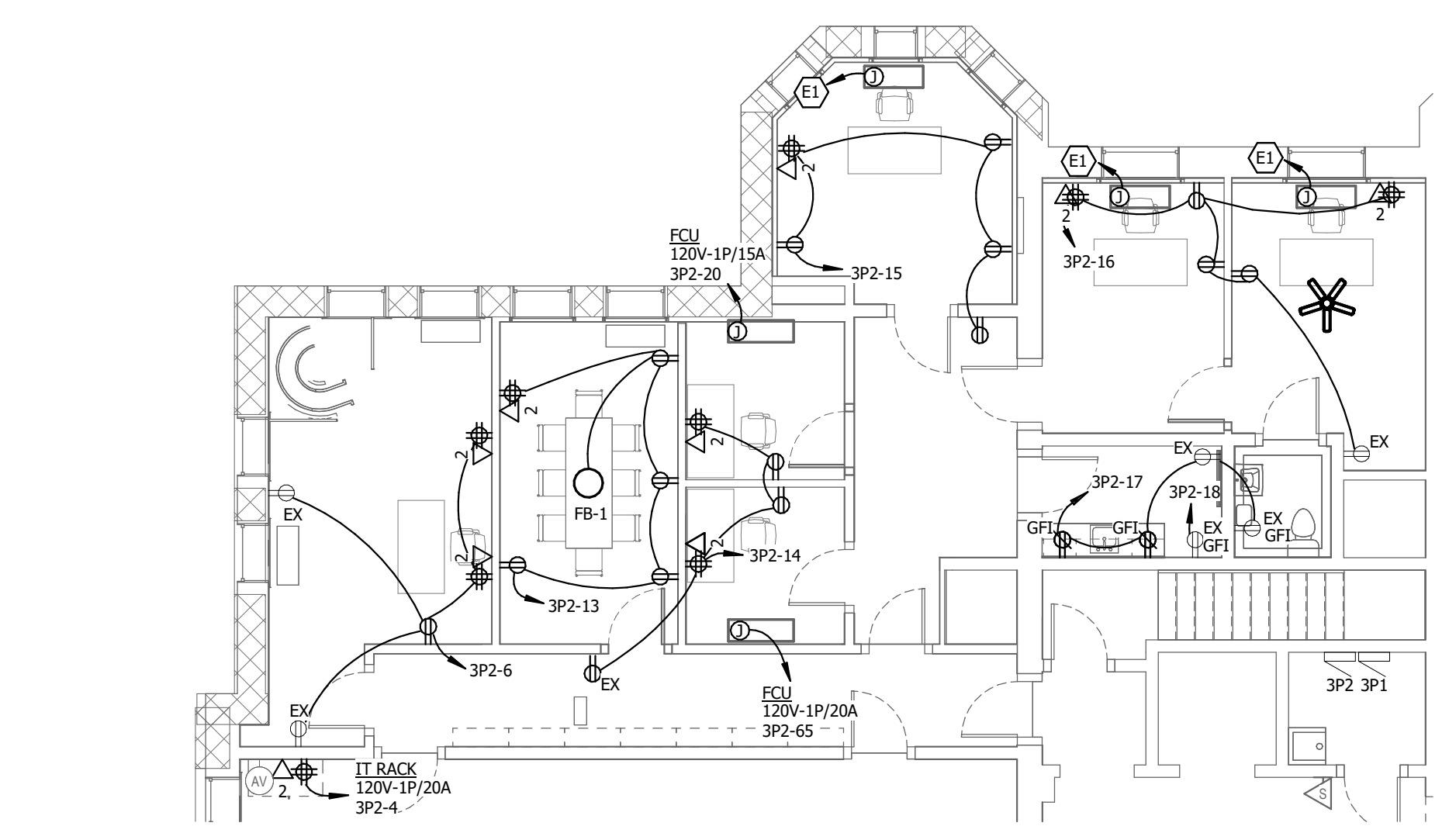
LIGHTING GENERAL NOTES:

- A. SURFACE RACEWAY SHALL NOT BE USED IN ANY FINISHED AREAS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- B. INSTALL DEVICES SUCH THAT NO TWO DEVICES ON OPPOSITE SIDES OF SAME WALL ARE WITHIN 6" OF EACH OTHER.
- C. COORDINATE ALL DEVICES WITH ARCHITECTURAL PLANS AND CASEWORK SUBMITTALS.
- D. OCCUPANCY AND DAYLIGHT SENSORS SHALL BE LOCATED PER MANUFACTURER'S RECOMMENDATIONS. IN EVENT OF CONFLICT OF DESIGNED DRAWINGS AND MANUFACTURER RECOMMENDATIONS, ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- E. REFER TO SPECIFICATION SECTION 26 0943 FOR ADDITIONAL DETAILS ASSOCIATED WITH THE LIGHTING CONTROLS. EACH AREA OF CONTROL SHALL HAVE A DEDICATED POWER PACK WITH ALL DEVICES SHOWN ON PLANS OPERATING TOGETHER.
- F. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN SUCH WAY THAT DRIVERS ARE ACCESSIBLE WITHOUT CUTTING OF CEILING. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF AREAS WHERE THIS IS NOT POSSIBLE.
- G. ALL WALL-MOUNTED FIXTURES SHALL HAVE EXACT ROUGH-IN LOCATION DETERMINED BY DESIGN TEAM PRIOR TO ROUGH-IN.
- H. THE ELECTRICAL CONTRACTOR SHALL EXTEND AN "UNSWITCHED" HOT CONDUCTOR FROM THE NEAREST NORMAL LIGHTING CIRCUIT TO EVERY UL524 LISTED EMERGENCY POWER PACK/TRANSFER DEVICE AND EXIT SIGNS REQUIRED FOR EMERGENCY EGRESS OPERATION. THE "UNSWITCHED" HOT CONDUCTOR SHALL BE USED FOR SENSING PURPOSES ONLY.
- I. PROVIDE ALL NEW ELECTRICAL DEVICES AND FACEPLATES FOR EXISTING (EX) DEVICES SHOWN.
- J. UNLESS NOTED OTHERWISE BY DESIGNATED "LIGHTING CONTROL ZONES", SWITCHES SHOWN WILL CONTROL ALL FIXTURES IN THE ROOM SHOWN.
- K. PROGRAMMABLE DEVICES SHALL BE CONFIGURED WITH THE CONTROL ZONES SHOWN ON THE PLANS AND SCENES PER CLIENT DIRECTION DURING COMMISSIONING.
- L. REFER TO ARCHITECTURAL ELEVATIONS AND REFLECTED CEILING PLANS FOR SPECIFIC DEVICE ROUGH-IN AND PLACEMENT. ANY DEVIATIONS FROM THE ARCHITECTURAL ELEVATIONS AND RCP'S SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO ROUGH-IN. IF A DEVICE IS REQUIRED PER SPECIFICATION, REQUIRED FOR OPERATION, OR IS DIFFERENT IN CONFIGURATION THAN SHOWN ON ELEVATIONS AND RCP'S, CLARIFICATION AND DIRECTION MUST BE GIVEN BY THE ARCHITECT BEFORE ROUGH-IN. DEVIATIONS OR ADDITIONAL DEVICES NOT APPROVED PRIOR TO INSTALLATION SHALL BE CORRECTED AT CONTRACTORS EXPENSE. THIS INCLUDES BUT IS NOT LIMITED TO THERMOSTATS, CONTROL SYSTEM SENSORS, ELECTRICAL DEVICES, SWITCHES, DIMMERS, TECHNOLOGY DEVICES, A/V DEVICES, SPEAKERS, FIRE ALARM DEVICES, ETC.
- M. CEILING CONTRACTOR SHALL PROVIDE AND INSTALL CEILING ACCESS PANELS FOR ACCESSIBILITY TO ELECTRICAL JUNCTION BOXES, PLUMBING VALVES, BALANCING DAMPERS, CIRCUIT SETTERS, ETC. WHERE ABSOLUTELY NECESSARY. LOCATIONS WILL NEED TO BE APPROVED AND COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.

LIGHTING REFERENCED NOTES: (#)

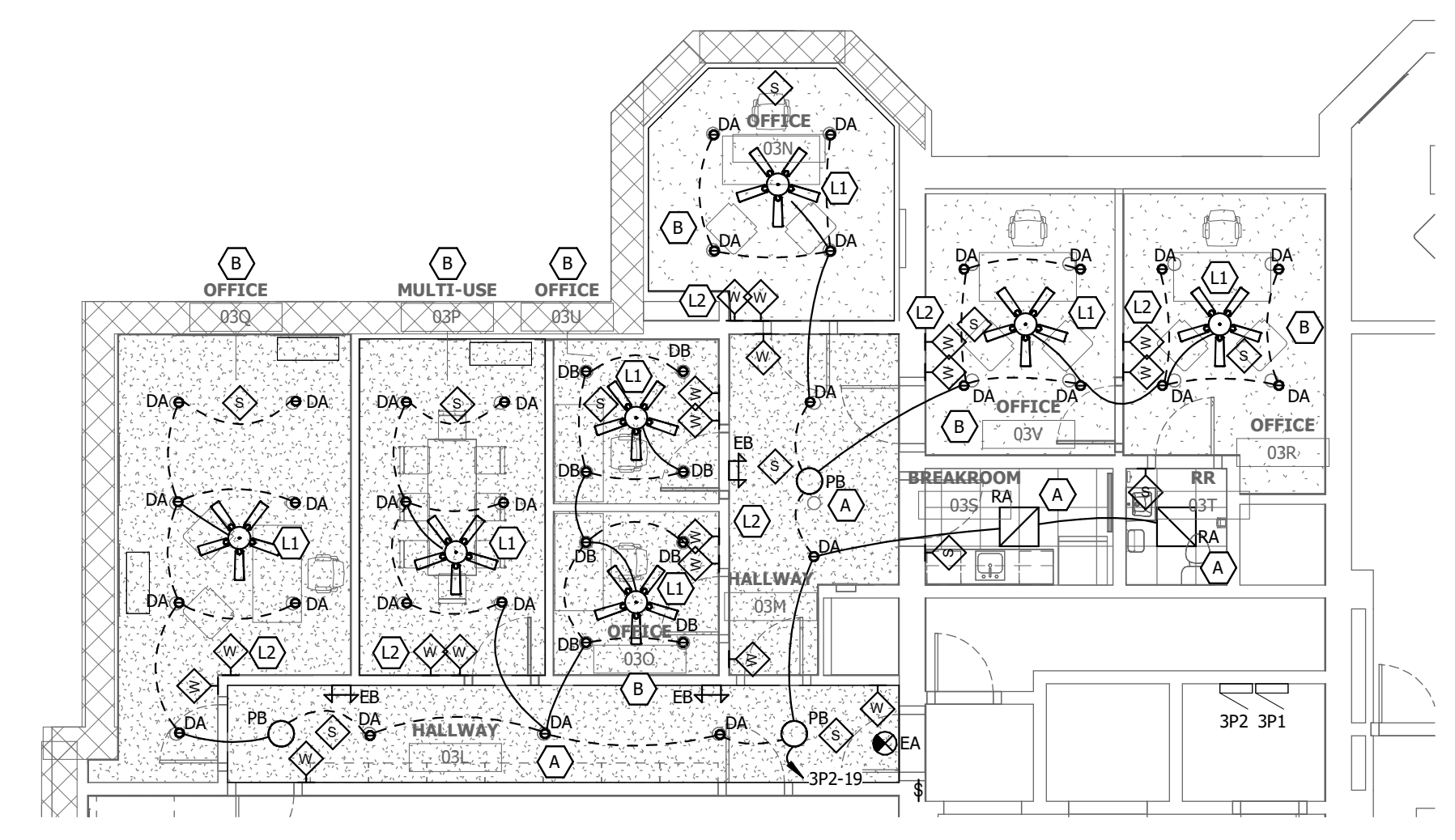
(NOT ALL NOTES MAY BE APPLICABLE TO THIS SHEET)

- L1. CONNECT CEILING FAN TO LIGHTING CIRCUIT. FAN SHALL BE RENOVATION HERON #A6821 CEILING FAN WITH AGED BRONZE FINISH AND OAK BLADES.
- L2. PROVIDE SPEED SELECTOR SWITCH FOR FAN. LOCATE NEAR LIGHTING CONTROL IN ROOM.
- L3. REMOVE EXISTING LIGHT SWITCH. REPLACE SWITCH WITH NEW 3-WAY SWITCH AND CONNECT TO EXISTING CIRCUIT. CONNECT NEW SWITCHES AND LIGHT FIXTURES.



LEVEL 3 ELECTRICAL PLAN
1/8" = 1'-0"

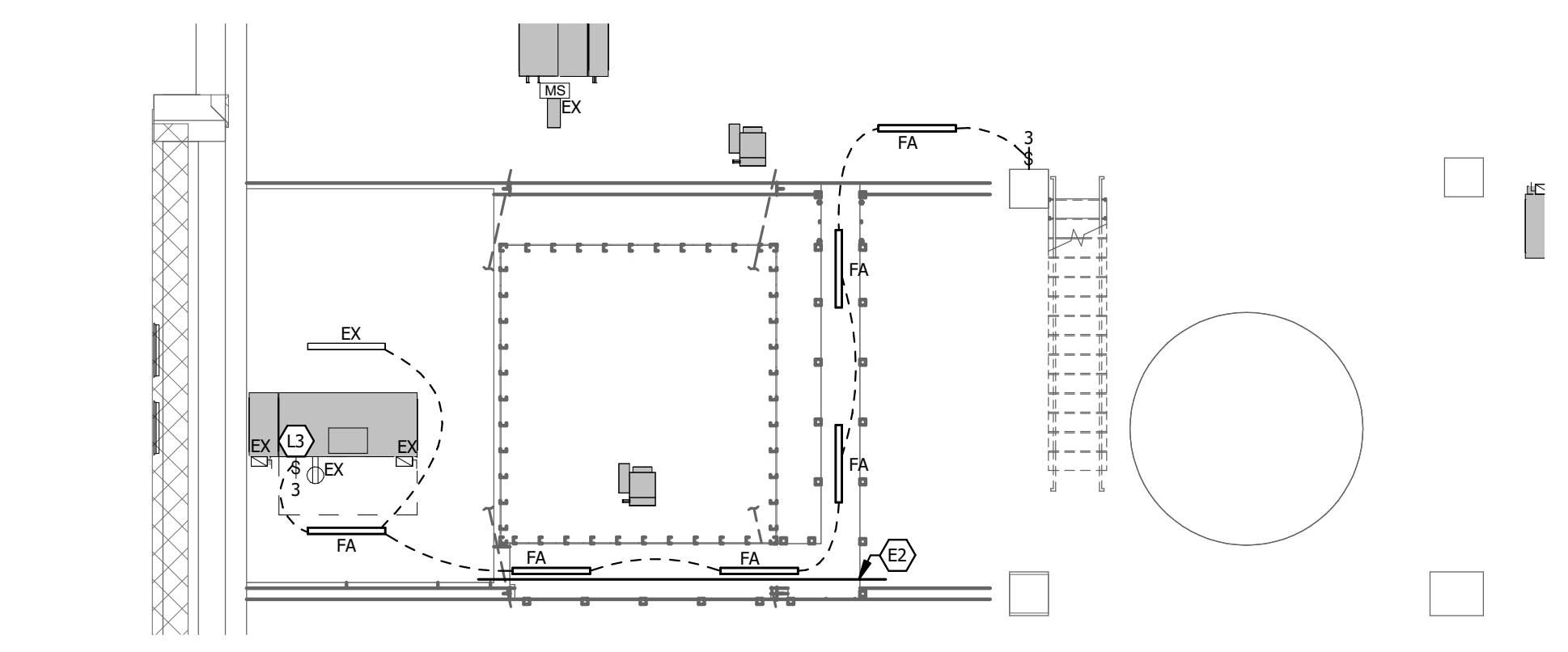
LEVEL 3 - LIGHTING PLAN
1/8" = 1'-0"



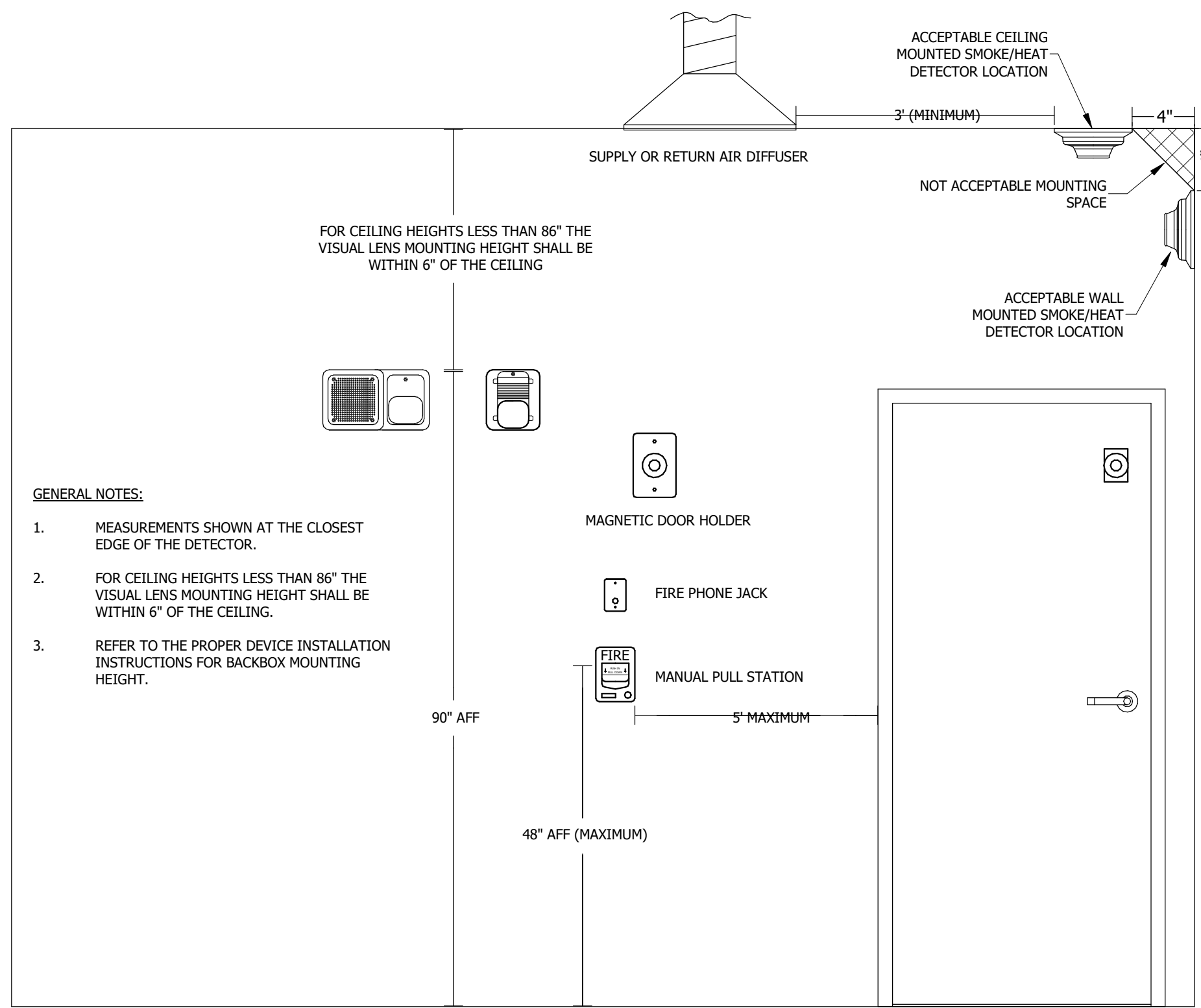
LIGHTING CONTROL SEQUENCE OF OPERATIONS

SEQUENCE	DESCRIPTION	DEVICES
A	LIGHTING CONTROL SHALL OPERATE AUTO ON/AUTO OFF VIA OCCUPANCY SENSOR(S) WITH MANUAL OVERRIDE.	<ul style="list-style-type: none"> • SINGLE ZONE WALL SWITCH(ES) - ON/OFF • DUAL TECHNOLOGY CEILING MOUNT OCCUPANCY SENSOR(S) - 360 DEG/2000 SF
B	LIGHTING CONTROL SHALL OPERATE MANUAL ON/AUTO OFF VIA OCCUPANCY SENSOR(S) WITH DIMMING CONTROL(S).	<ul style="list-style-type: none"> • SINGLE ZONE WALL SWITCH(ES) - ON/OFF/DIMMING • DUAL TECHNOLOGY CEILING MOUNT OCCUPANCY SENSOR(S) - 360 DEG/2000 SF

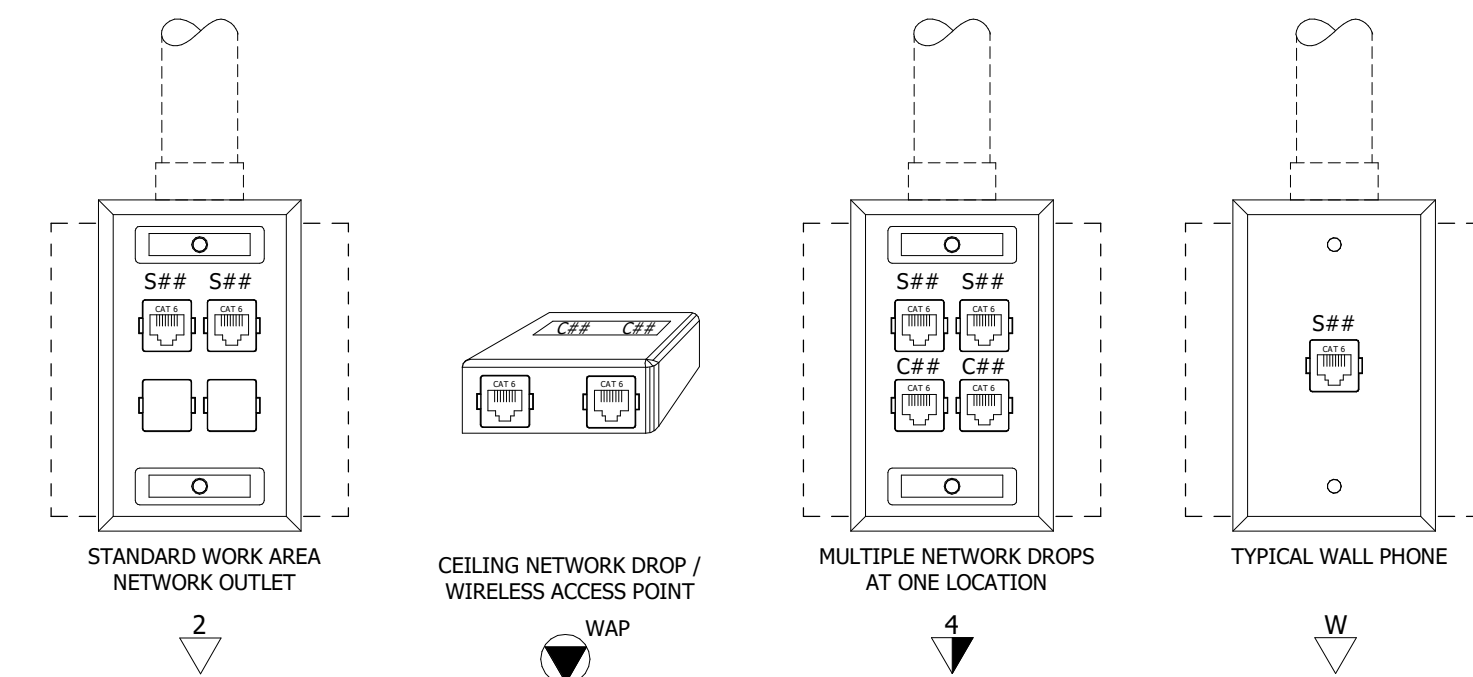
- NOTES:
- 1. REFER TO SPECIFICATION 26 0943 FOR FURTHER INFORMATION.
 - 2. OCCUPANCY SENSORS SHALL BE PROGRAMMED FOR A 30 MINUTE TIME DELAY.
 - 3. PROVIDE PROPER NUMBER OF POWER PACKS REQUIRED FOR A FULLY FUNCTIONAL SYSTEM.
 - 4. EXACT DEVICE AND POWER PACK QUANTITIES SHALL BE DETERMINED DURING CONSTRUCTION BY THE LIGHTING CONTROLS MANUFACTURER.



ATTIC POWER PLAN
1/8" = 1'-0"

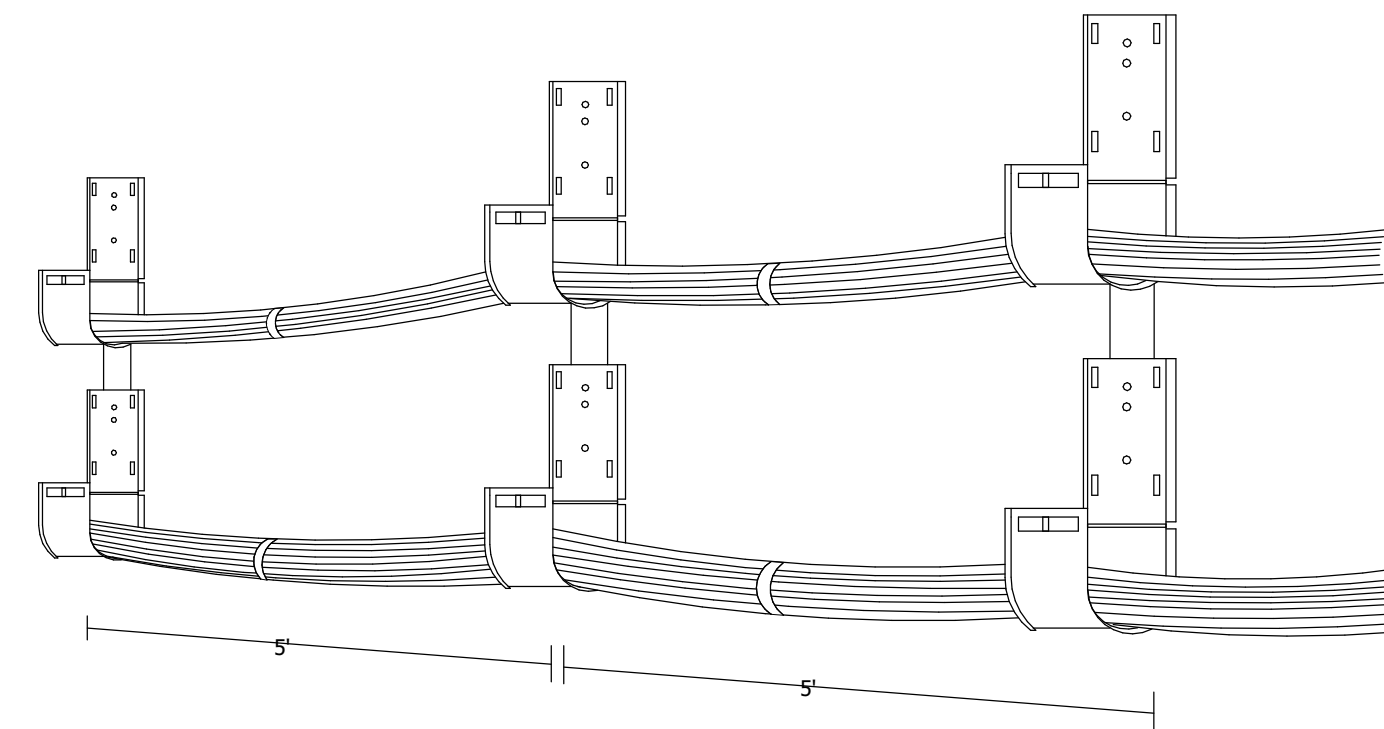


2 FIRE ALARM MOUNTING DETAILS
No Scale



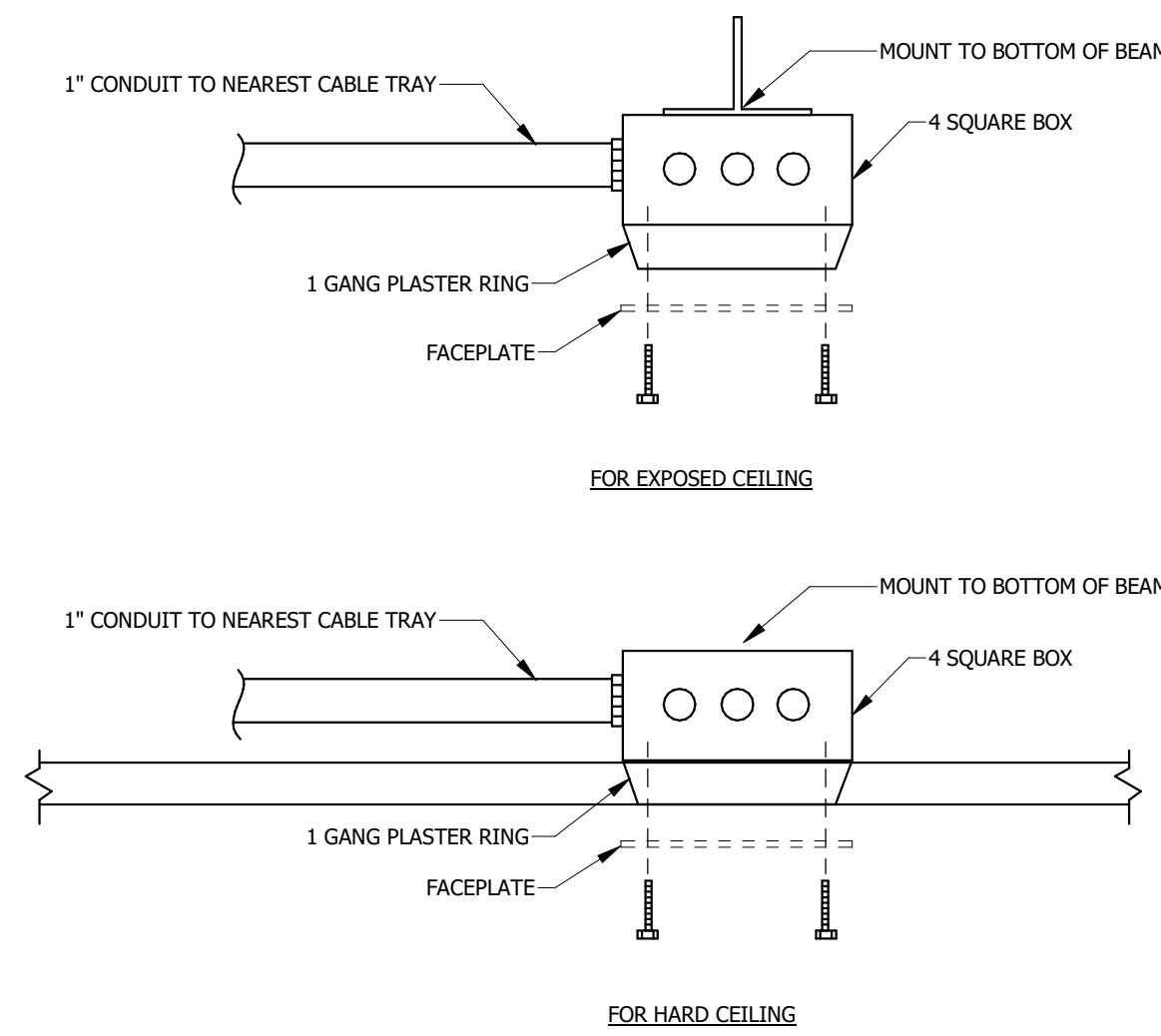
4 TELECOM DEVICE DETAIL
No Scale

- NOTES:
- A. MINIMUM CONDUIT SIZE FOR LOW VOLTAGE WIRING SHALL BE 1". REFER TO SPECIFICATIONS FOR DETAILS.
 - B. ALL STANDARD WORK AREA OUTLETS SHALL BE PROVIDED WITH TWO (2) CATEGORY 6 CABLES.
 - C. DETAILS ARE DRAWN BASED ON STUD TYPE CONSTRUCTION. ELECTRICAL CONTRACTOR SHALL PROVIDE ONE (1) 4-11/16" BACKBOX FOR ALL LOW VOLTAGE OUTLETS WITH A SINGLE GANG OPENING. IF OUTLET IS LOCATED INSIDE A CONCRETE WALL, ELECTRICAL CONTRACTOR SHALL UTILIZE A SINGLE GANG DEEP MASONRY BOX FOR ROUGH-IN PURPOSES.
 - D. STRUCTURED CABLING SUBCONTRACTOR SHALL PROVIDE 4-PORT FACEPLATE AS SHOWN. PROVIDE BLANKS FOR ANY UNUSED OPENINGS. REFER TO SPECIFICATION 27 1005 FOR FURTHER DETAIL.
 - E. ALL STATE WORK AREA OUTLET TERMINATIONS SHALL BE GREEN IN COLOR.
 - F. ALL COUNTY WORK AREA OUTLET TERMINATIONS SHALL BE ORANGE IN COLOR.



- J-HOOK PATHWAY GENERAL NOTES:**
- A. THIS DETAIL ILLUSTRATES ACCEPTABLE INSTALLATION PRACTICES IN ACCESSIBLE CEILING AREAS. IN EXPOSED CEILING LOCATIONS, CABLING SHALL BE CONCEALED IN CONDUIT.
 - B. J-HOOKS SHALL BE SPACED AT A MAXIMUM OF NO MORE THAN 5 FEET APART. LOOSELY BUNDLE CABLE AND MANAGE UTILIZING VELCRO STRIPS.
 - C. KEEP ALL DATA CABLING ISOLATED FROM OTHER SYSTEMS. J-HOOK SYSTEM SHALL ALLOW OTHER HOOKS TO ATTACH IN A STACKING METHOD. KEEP FIRE ALARM CABLING IN ITS OWN HOOK PATHWAY.
 - D. WHEN CABLING IS ROUTED TO A CEILING DEVICE, CABLING SHALL BE SUPPORTED AND CABLING KEPT OFF OF ALL CEILING TILES AND ABOVE CEILING EQUIPMENT.

3 J-HOOK PATHWAY DETAIL
No Scale



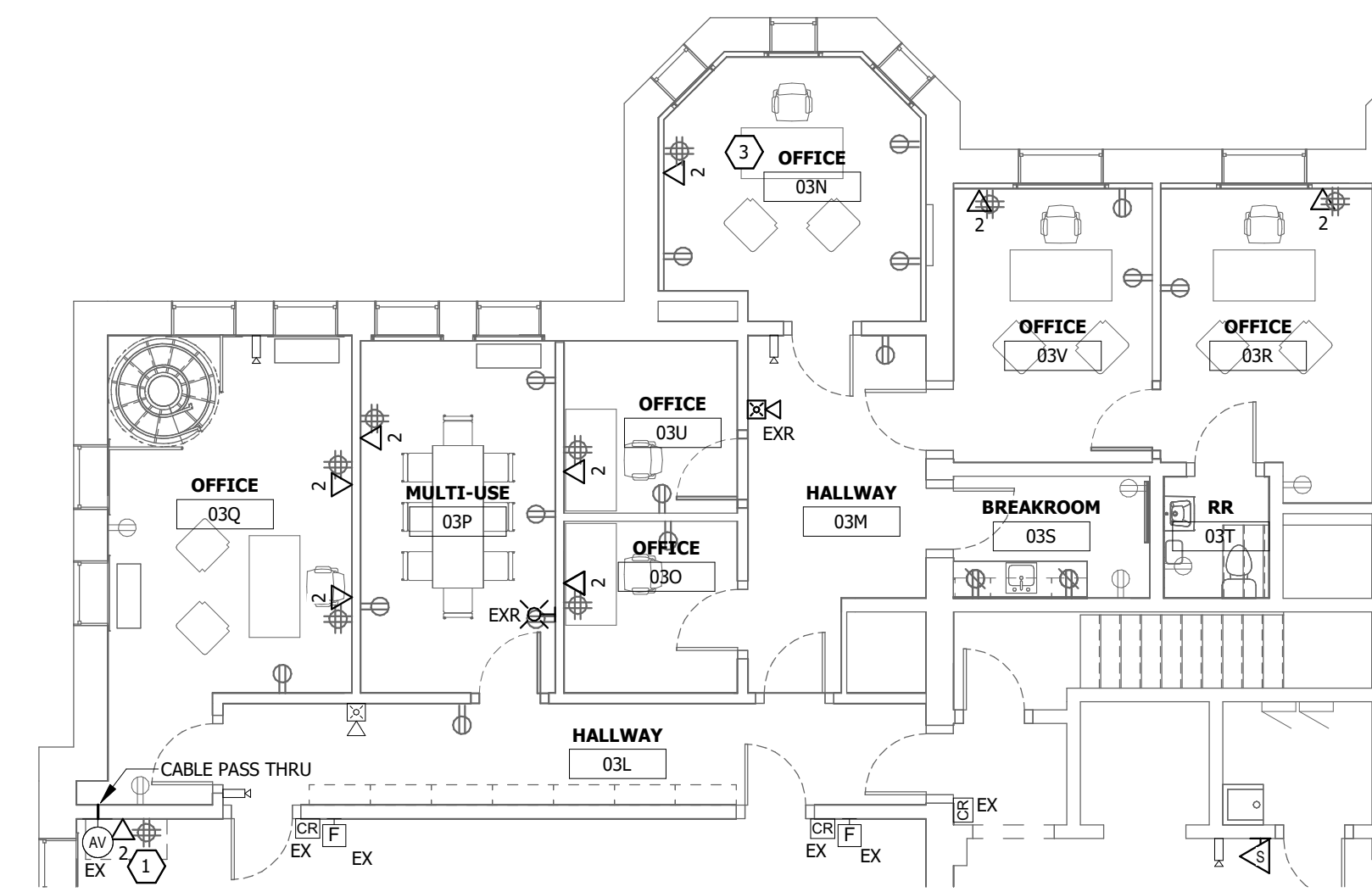
5 LOW VOLTAGE CEILING ROUGH-IN DETAIL
No Scale

GENERAL NOTES:

- A. SURFACE RACEWAY IS NOT TO BE USED IN ANY FINISHED AREAS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
- B. PROVIDE CONDUIT SLEEVES WITH INSULATED BUSHINGS SERVING ALL LOW VOLTAGE CABLING. DO NOT EXCEED 40% PIPE FILL.
- C. INSTALL DEVICES SUCH THAT NO TWO DEVICES ON OPPOSITE SIDES OF SAME WALL ARE WITHIN 6" OF EACH OTHER.
- D. COORDINATE ELECTRICAL REQUIREMENTS WITH DOOR CONTRACTOR PRIOR TO INSTALLATION.
- E. COORDINATE ALL DEVICES WITH ARCHITECTURAL PLANS, CASEWORK SUBMITTALS, & OWNER PROVIDED EQUIPMENT.
- F. ALL DEVICES CALLED OUT TO BE INSTALLED AT NON-STANDARD HEIGHTS SHALL BE VERIFIED WITH DESIGN TEAM PRIOR TO ROUGH-IN.
- G. ALL NEW WORK INDICATED IN EXISTING WALLS SHALL BE INSTALLED WITH CONCEALED WIRING AND FLUSH-MOUNTED DEVICES. CUTTING AND PATCHING SHALL BE BY GENERAL CONTRACTOR.
- H. FIRE ALARM INITIATING DEVICES SHALL NOT BE INSTALLED WITHIN 36 INCHES HORIZONTALLY FROM FORCED AIR HVAC DIFFUSERS OR THE END OF CEILING FAN BLADES.
- I. WIRELESS ACCESS POINTS (WAP) SHALL BE OWNER FURNISHED, CONTRACTOR INSTALLED. STRUCTURED CABLING CONTRACTOR SHALL PROVIDE (2) CATEGORY 6 CABLES TERMINATED ABOVE CEILING TO A BISCUIT JACK. PROVIDE FINAL PATCH CABLES FOR OWNER TO PATCH TO FIELD DEVICE. ALLOW FOR A 20FT SERVICE LOOP AT ACCESSIBLE CEILINGS.
- J. SECURITY CAMERA - LOW VOLTAGE CONTRACTOR SHALL PROVIDE CATEGORY 6 TERMINATED ON A BISCUIT JACK ABOVE CEILING TO COUNTY POE NETWORK SWITCH IN THE TELECOM ROOM. SECURITY CAMERAS SHALL BE INSTALLED AND CONNECTED BY SECURITY CONTRACTOR.
- K. CORRIDOR SMOKE DETECTION SHALL BE USED TO ACTIVATE FIRE SMOKE DAMPER RELAY. ALL SMOKE DAMPERS SHALL BE WIRED TO CLOSE WHEN THE FIRE ALARM IS IN "ALARM" AND BE OPEN ON CLEAR AND TROUBLE SIGNAL.
- L. ALL LOW VOLTAGE CABLE SHALL BE SERVED FROM LEVEL 1 TELECOM ROOM LOCATION.

REFERENCED NOTES: 2

- (NOT ALL NOTES MAY BE APPLICABLE TO THIS SHEET)
1. AV RACK LOCATION. AV CONTRACTOR SHALL RELOCATE EXISTING COURTROOM AV RACK TO 3RD FLOOR COURTROOM.
 2. ACCESS CONTROL LOCATION. REFER TO LOW VOLTAGE DETAILS AND ARCHITECTURAL SPECIFICATION SECTION 08-7100 FOR OPERATION AND FURTHER ROUGH-IN/BIDDING INFORMATION. COORDINATE ALL DOORHOLDS, CARD READERS, ADA PUSHBUTTONS, AND OTHER ACCESSORIES WITH ARCHITECT AND DESIGN TEAM PRIOR TO ROUGH-IN.
 3. DURESS BUTTON - PROVIDE A NEW HOLD UP STYLE DURESS BUTTON, ALARM CONTROLS TS-18 OR APPROVED EQUIVALENT, COORDINATE EXACT LOCATION WITH OWNER AND TIE BACK TO ALARM PANEL.



1 LEVEL 3 LOW VOLTAGE PLAN
1/8" = 1'-0"

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PROJECT NAME
JOHNSON COUNTY COURTHOUSE THIRD LEVEL OFFICE RENOVATION

OWNER
JOHNSON COUNTY
913 South Dubuque Street
Iowa City, Iowa 52240

PROJECT NO. 18.112

ISSUE	
DATE	DESCRIPTION
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SHEET NAME
THIRD LEVEL LOW VOLTAGE PLAN AND DETAILS

SHEET NUMBER

T-102.5