

PLANNING APPLICATION COVER SHEET**PROJECT TYPE: Site Plan****NO. SP25-000001****APPLICATION DATE: 10/15/2025****PROPERTY OWNER: VAULT STORAGE LLC****APPLICANT: Brock Heller****WORK DESCRIPTION: Commerce Court Addition, Lot 5 (6.00 Acres)****SITE ADDRESS:****PROPERTY INFORMATION**

Parcel ID (PPN)	Acres in Parcel	Current zoning classification
0304303001	6	A - Agricultural

**Planning, Development and Sustainability****913 S. Dubuque St. Iowa City, IA 52240****planning@johnsoncountyiowa.gov. 319-356-6083****<https://www.johnsoncountyiowa.gov/pds>**



MMS Consultants, Inc.

Experts in Planning and Development Since 1975

1917 S. Gilbert Street
Iowa City, Iowa 52240

319.351.8282

mmsconsultants.net
mms@mmsconsultants.net

October 15, 2025

Josh Busard
Johnson County Planning, Development, & Sustainability Dept.
913 S. Dubuque St, Suite 204
Iowa City, IA 52240

RE: Lot 5, Commerce Court Addition – Site Plan Application

Dear Josh,

On behalf of Robison Construction, we are submitting a site plan application for Lot 5, Commerce Court Addition located in Johnson County, Iowa. The property is zoned Ag and is 6.00 acres in size. The property is addressed in Swisher but within the City of Shueyville Fringe Area.

The proposed use is a self-storage facility for recreation vehicles, campers, boats, etc. There will not be any on-site employees and hours of operation are 24/7. There are 13 parking spaces provided on site per Johnson County UDO requirements. No water or sanitary services are being proposed with this project and stormwater is being handled by the basin constructed with the development of the subdivision and approved stormwater management plan. No signage or outdoor lighting are being proposed at this time.

We are requesting a sensitive areas waiver and a stormwater management waiver as both were already approved with the subdivision process.

Please let us know if you have any questions or concerns.

Respectfully submitted,

A handwritten signature in blue ink that reads "Brock A. Heller".

Brock A. Heller, P.L.A.

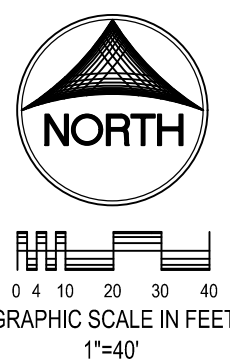
AMENDED SITE PLAN
LOT 5, COMMERCE COURT ADDITION
JOHNSON COUNTY, IOWA

PLAT/PLAN PREPARED BY:
MMS CONSULTANTS, INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
VAULT STORAGE, LLC
ROBISON CONSTRUCTION
701 CENTER POINT ROAD NE
CEDAR RAPIDS, IA 52402

C120
C140
C141
C500
L100

SITE LAYOUT AND DIMENSION PLAN
SITE GRADING, EROSION CONTROL PLAN,
AND SWPPP
DETAILED GRADING PLAN
GENERAL NOTES AND DETAILS
SITE LANDSCAPE PLAN



6.00 ACRES



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Date Revision



LEGAL DESCRIPTION
LOT 5, COMMERCE COURT ADDITION, JOHNSON COUNTY, IOWA, IN ACCORDANCE WITH THE
RECORDED PLAT THEREOF, CONTAINING 6.00 ACRES, AND SUBJECT TO EASEMENTS AND
RESTRICTIONS OF RECORD.

PROPOSAL
APPLICANT PLANS TO DEVELOP A COMMERCIAL STORAGE FACILITY ON A 6.00 ACRE LOT.

DEVELOPMENT SCHEDULE			
PHASE	AREA OF WORK	LAND USE TYPE(S)	CONSTRUCTION PERIOD
		AG: STORAGE FACILITIES	FALL 2025 THRU FALL 2026

DEVELOPMENT CHARACTERISTICS	
CURRENT ZONING: AG	
SETBACK REQUIREMENTS	REQUIRED
FRONT YARD	40 FEET
SIDE YARD	10 FEET
REAR YARD	30 FEET
MINIMUM LOT REQUIREMENTS	
MINIMUM LOT SIZE	NONE
LOT FRONTAGE	NONE
LOT WIDTH	NONE
MAXIMUM BUILDING HEIGHT	35 FEET AND 2 1/2 STORIES
LOT CHARACTERISTICS	
LOT AREA	261,275 SF (100%) (6.0 AC)
BUILDING AREA - PROPOSED	72,860 SF (27.8%)
PAVING AREA - PROPOSED	77,600 SF (29.7%)
GREEN SPACE AREA	111,015 SF (42.5%)
PARKING REQUIREMENTS	
STORAGE FACILITIES (127 UNITS):	1 SPACE PER 10 UNITS SF (13 SPACES)
PLUS	
TOTAL SPACES REQUIRED:	13 SPACES
TOTAL SPACES PROVIDED:	13 SPACES (1 ADA)

NO PARKING LOT LIGHTING IS PROPOSED. ALL SITE LIGHTING SHALL COMPLY WITH
DOWNCAST LIGHTING STANDARDS.

NO SIGNAGE IS PROPOSED. ANY FUTURE SIGNAGE WILL BE INSTALLED IN ACCORDANCE
WITH COUNTY REGULATIONS.

PAVING LEGEND	
	6" PCC OVER
	6" GRANULAR BASE (77,600 SF)

KEYNOTES	
NUMBER	KEYNOTE
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL)
2	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)
3	INSTALL RIP RAP AT LOW POINT OF PAVEMENT
4	INSTALL ADA STRIPING AND SYMBOL
5	INSTALL ADA SIGNAGE
6	INSTALL SUB DRAIN AND CONNECT TO DOWNSPOUTS
7	INSTALL RETAINING WALL PER STRUCTURAL ENGINEER
8	REMOVE EXISTING RIP-RAP AND SALVAGE TO EXTENT POSSIBLE TO BE REUSED IN PROPOSED LOCATIONS
9	REMOVE EXISTING DRAINAGE TILE AND SALVAGE TO EXTENT POSSIBLE TO BE REUSED IN PROPOSED LOCATIONS

THE CONTRACTOR SHALL PROVIDE TRAFFIC
CONTROL PER IDOT STANDARD ROAD PLANS AND
JOHNSON COUNTY REQUIREMENTS AT ALL TIMES
DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH
UTILITY PROVIDERS FOR ANY REQUIRED
RELOCATION OF EXISTING UTILITIES.

STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	EXIST- 22-1
---	PROP-
---	POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
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---	GAS LINES
---	PROPOSED GAS LINES
---	FIBER OPTIC
---	OVERHEAD ELECTRIC
---	FO
---	OHE
---	CONTOUR LINES (INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES
SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH
ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE
APPROVAL OF THIS DOCUMENT.

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA
ONE CALL AT 811 OR 800/292-8989
NO LESS THAN 48 HRS. IN ADVANCE
OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN
THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE
OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR
SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE
SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE
ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN
OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT
LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE
ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

LOT 5, COMMERCE COURT ADDITION
JOHNSON COUNTY



LOCATION MAP
NOT TO SCALE

PLAN APPROVED BY:	DATE
APPLICANT	
PLAN APPROVED BY:	DATE
JOHNSON COUNTY PUBLIC HEALTH	
PLAN APPROVED BY:	DATE
JOHNSON COUNTY ZONING ADMINISTRATOR	

I hereby certify that this engineering document was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Iowa.	20____ CHRISTOPHER A. THOMPSON, P.E. Iowa Lic. No. 25323 License renewal date: December 31, 20____
Seal of Christopher A. Thompson, P.E., Iowa License No. 25323	Pages of sheets covered by this seal.
SEAL	

SITE LAYOUT AND
DIMENSION PLAN

LOT 5, COMMERCE
COURT ADDITION

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/15/2025

Designed by: BAH Field Book No. BK. 1428; P.9

Drawn by: BAH Scale: 1"=40'

Checked by: CAT Sheet No.

Project No: C120

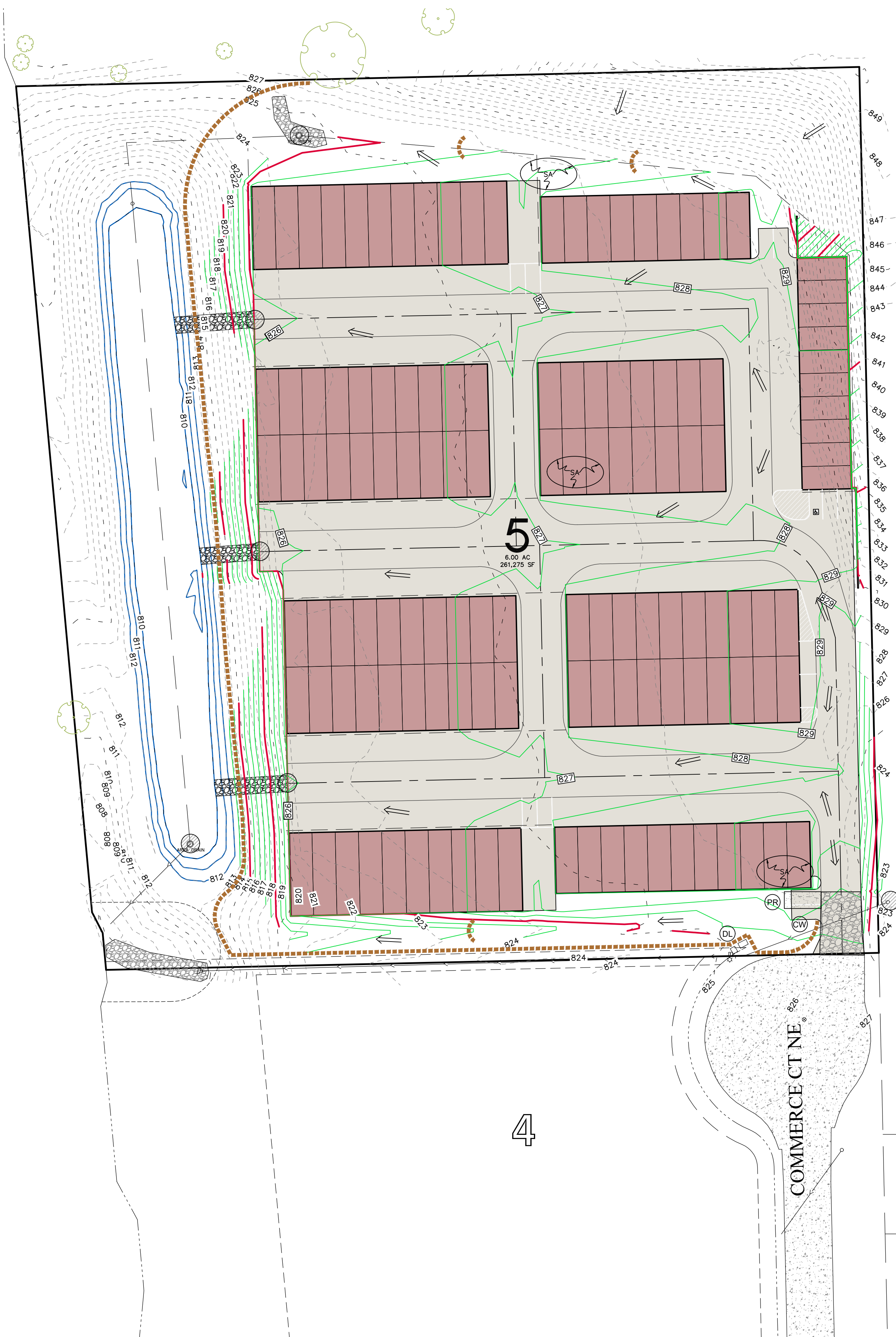
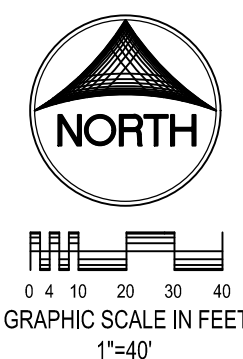
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C120 SITE LAYOUT AND DIMENSION PLAN
C140 SITE GRADING, EROSION CONTROL PLAN,
AND SWPPP
C141 DETAILED GRADING PLAN
C500 GENERAL NOTES AND DETAILS
L100 SITE LANDSCAPE PLAN



GRADING NOTES

- 1.) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
- 2.) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- 3.) WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- 4.) COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- 5.) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- 6.) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- 7.) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- 8.) SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- 9.) ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH JOHNSON COUNTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 6.00 ACRES
TOTAL AREA TO BE DISTURBED: 6.00 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

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EROSION CONTROL LEGEND

- AREA OF DISTURBANCE
- SILT FENCE
- TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
- TEMPORARY PARKING AND STORAGE
- CONCRETE TRUCK/EQUIPMENT WASHOUT
- PORTABLE RESTROOM
- DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- FILTER SOCK INLET PROTECTION
- FILTER SOCK BEHIND CURB AT CURB RAMP
- PERIMETER SILT FENCE
- TEMPORARY SOIL STOCKPILE AREA
- DIRECTION OF OVERLAND FLOW
- DUMPSTER FOR CONSTRUCTION WASTE
- RIP RAP OUTLET PROTECTION

PERMANENT SEEDING OF URBAN AREAS

THE FOLLOWING SEED MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF ALL GREEN SPACE AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. THE APPLICATION RATE SHALL BE 4 POUNDS PER 1,000 SQUARE FEET (2 kg per 100 m²).

BLUEGRASS, KENTUCKY	70%
RYEGRASS, PERENNIAL (FINELEAF VARIETY)	10%
FESCUE, CREEPING RED	20%

NOTES:

1. TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
2. FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.
3. AREAS WITH SLOPES OF 4:1 SHOULD USE NORTH AMERICAN GREEN S75BN TURF REINFORCEMENT MATTING OR APPROVED EQUAL PER MANUFACTURER'S SPEC.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES.

TABLE 9010.06: TYPE 4 SEED MIXTURE

COMMON NAME	APPLICATION RATE lb/acre
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAIN RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.
FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)



UTILITIES

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6.00 ACRES



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SITE GRADING,
EROSION CONTROL
PLAN, AND SWPPP

LOT 5, COMMERCE
COURT ADDITION

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 10/15/2025

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Checked by: CAT Sheet No:

C140

9870-009 of: 5



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DETAILED
GRADING PLAN

LOT 5, COMMERCE COURT ADDITION

JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

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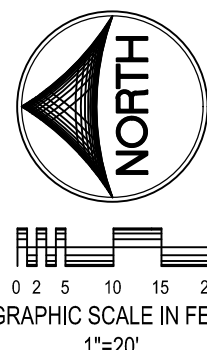
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GRADING LEGEND	
	EXISTING SURFACE
	FINISH GRADE
	TOP SLAB
	TOP WALK
	TOP CURB
	TOP RIM
	FG AT TOP WALL
	FG AT BOTTOM WALL
	TOP OF STEPS
	BOTTOM OF STEPS



UTILITIES

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GENERAL NOTES
AND DETAILS

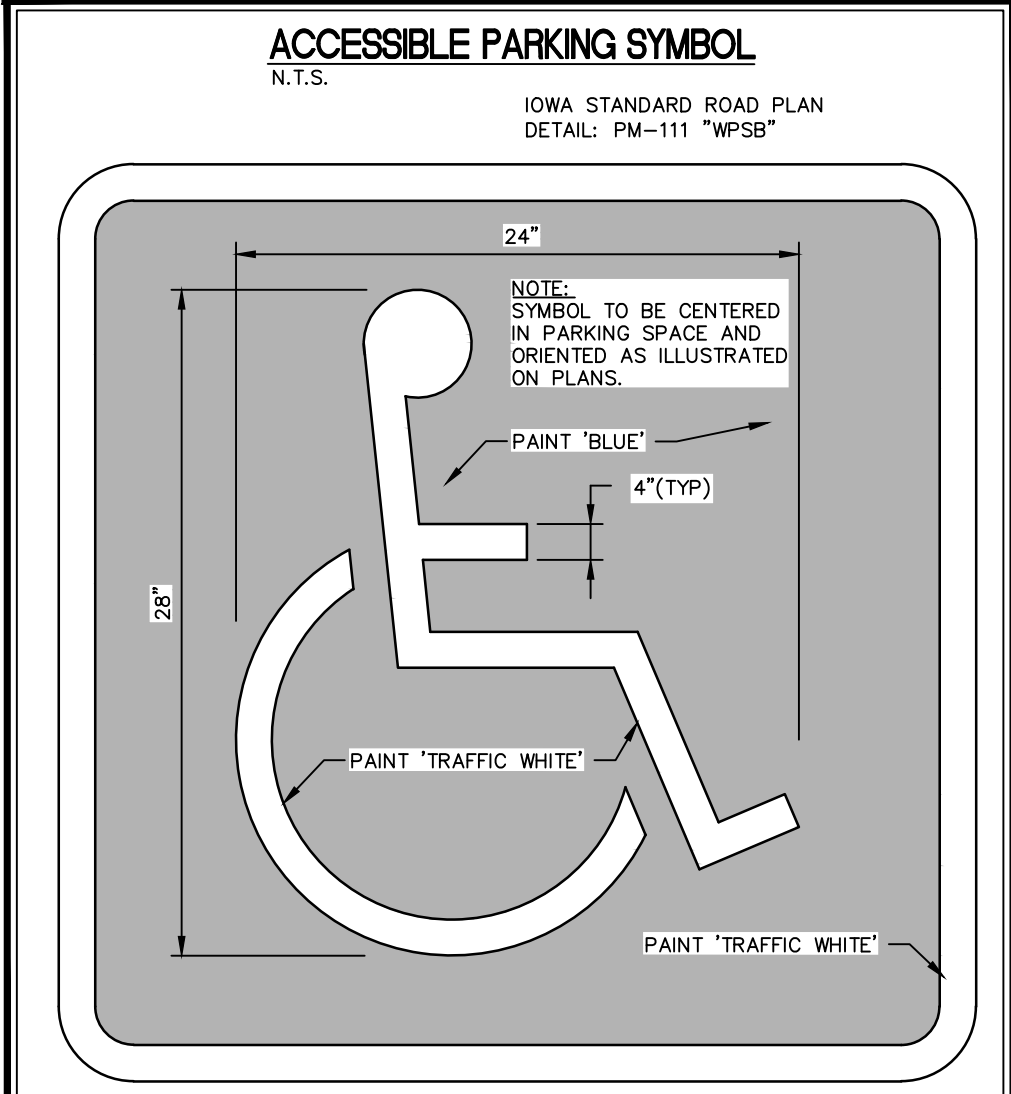
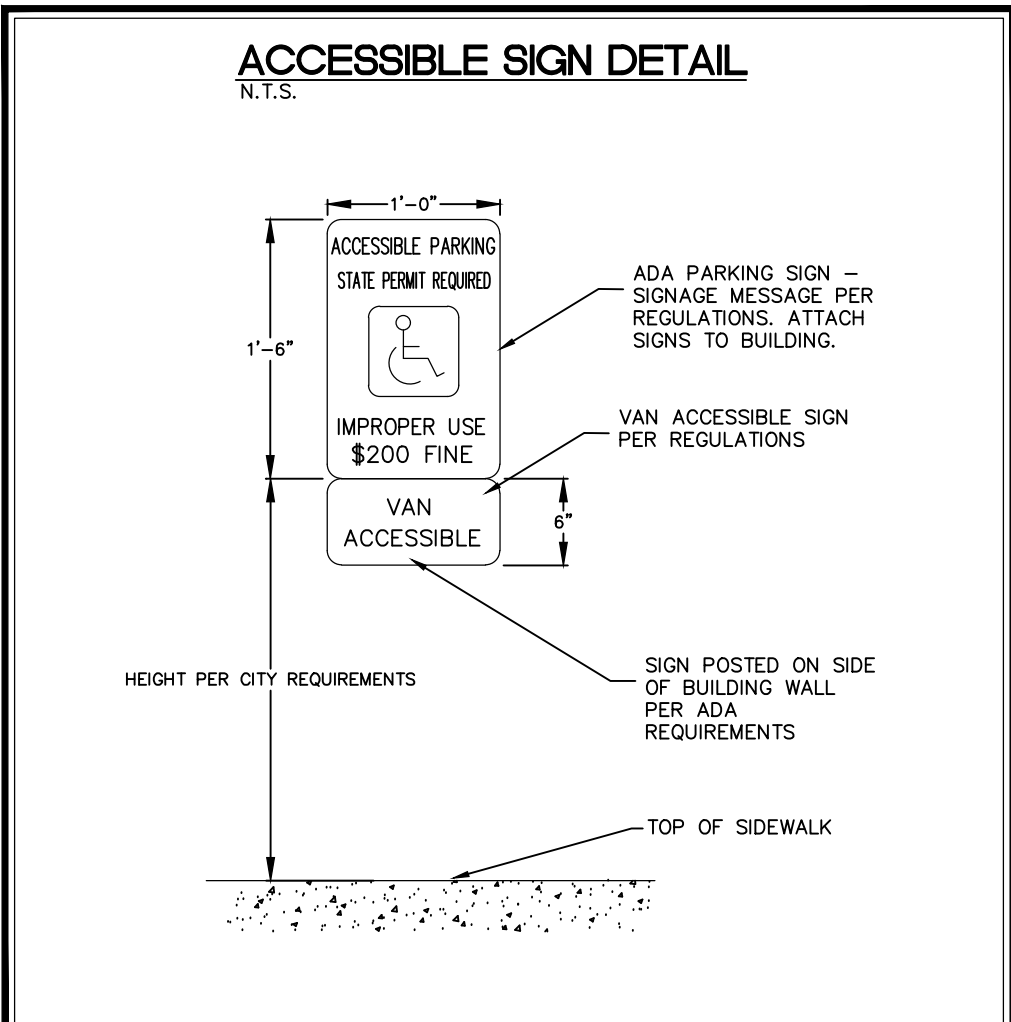
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JOHNSON COUNTY
IOWA

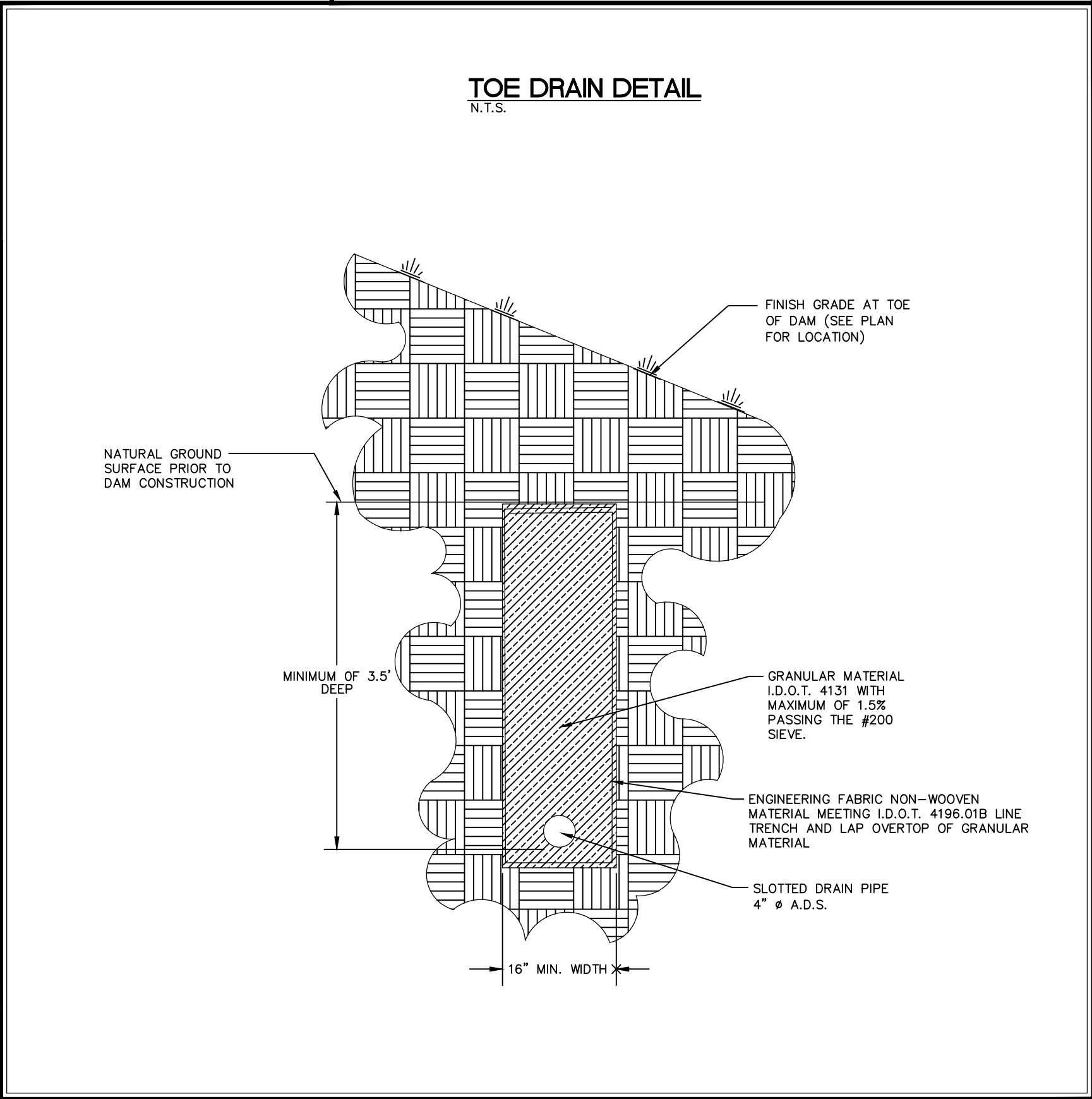
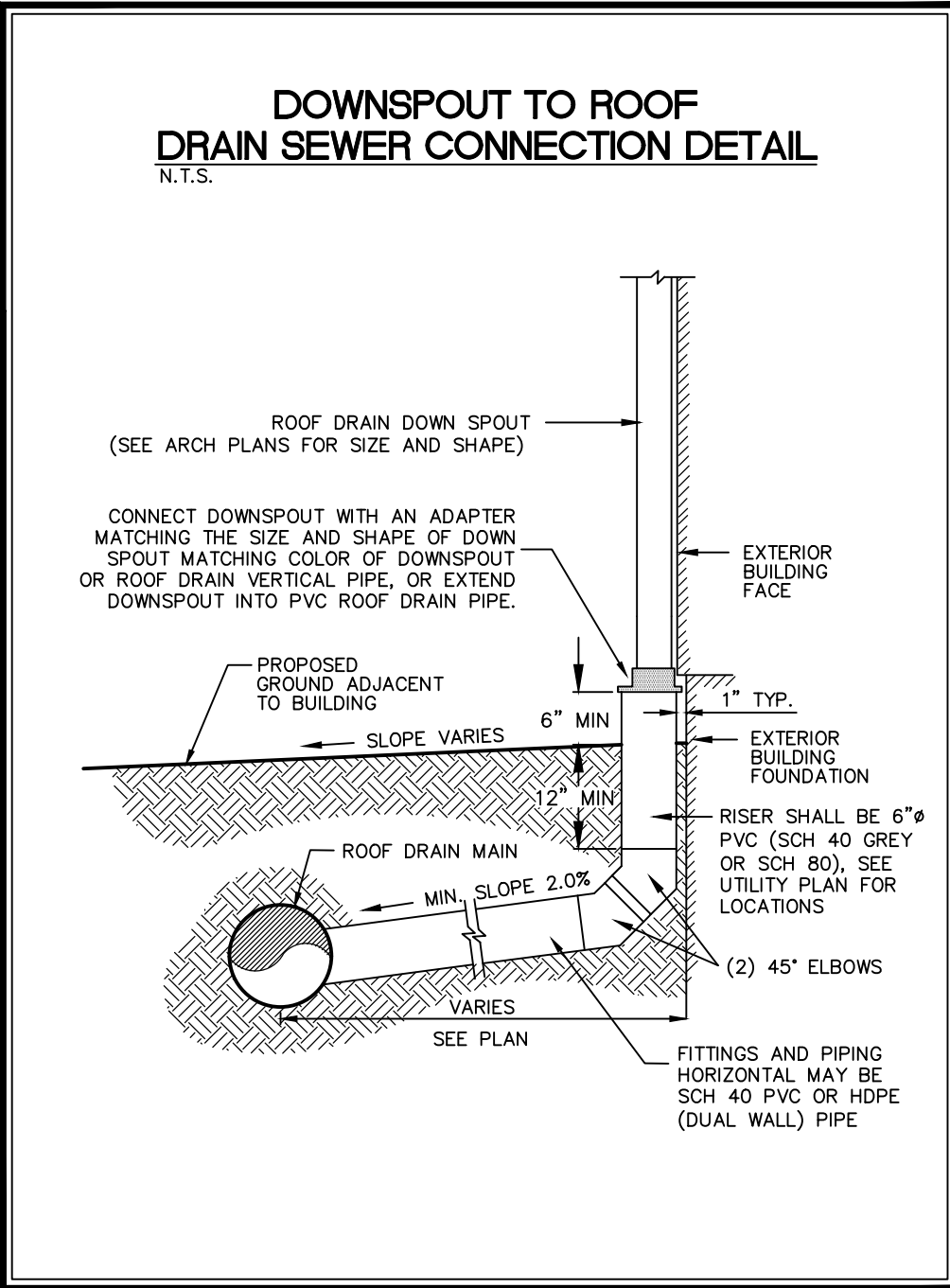
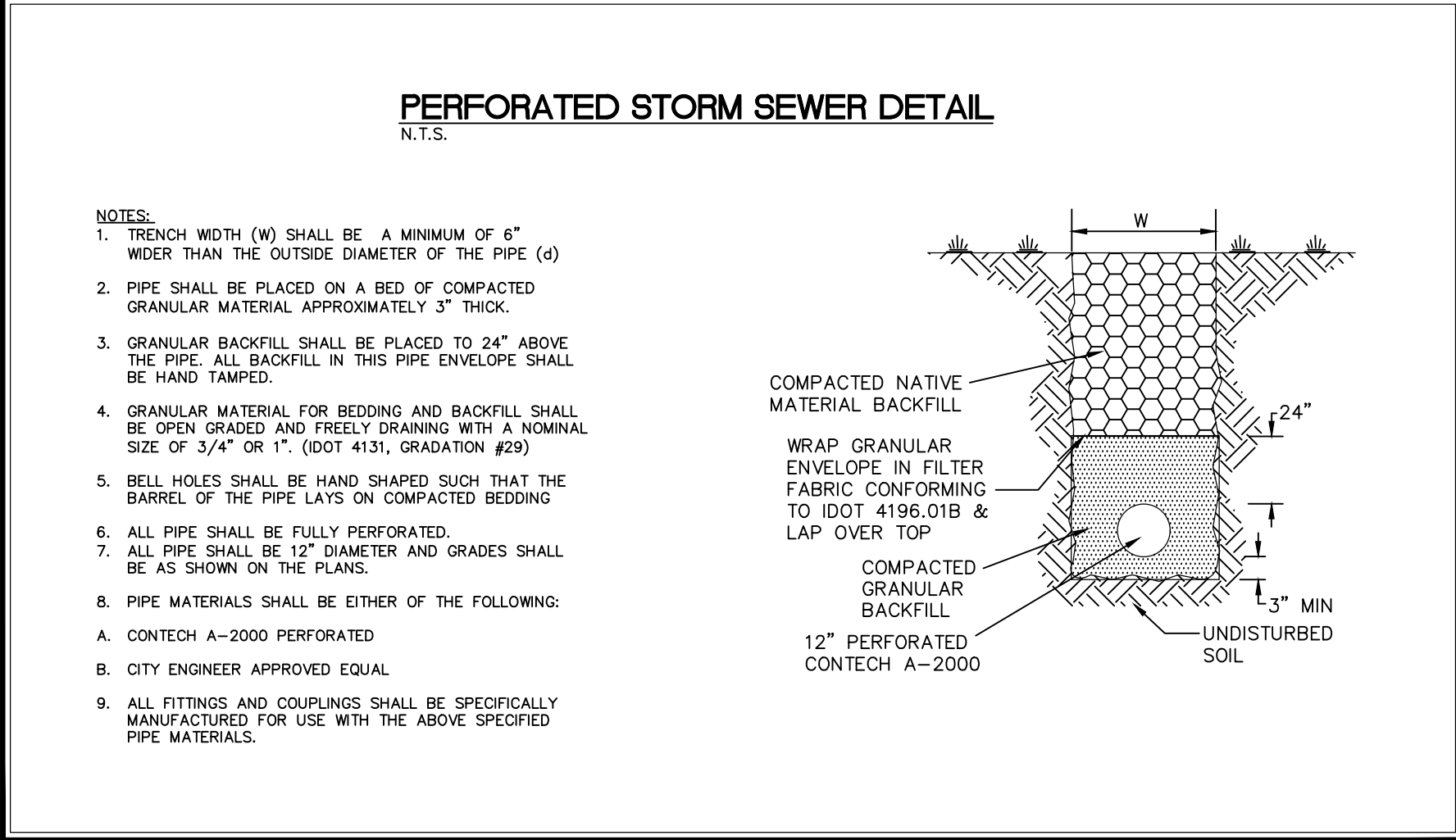
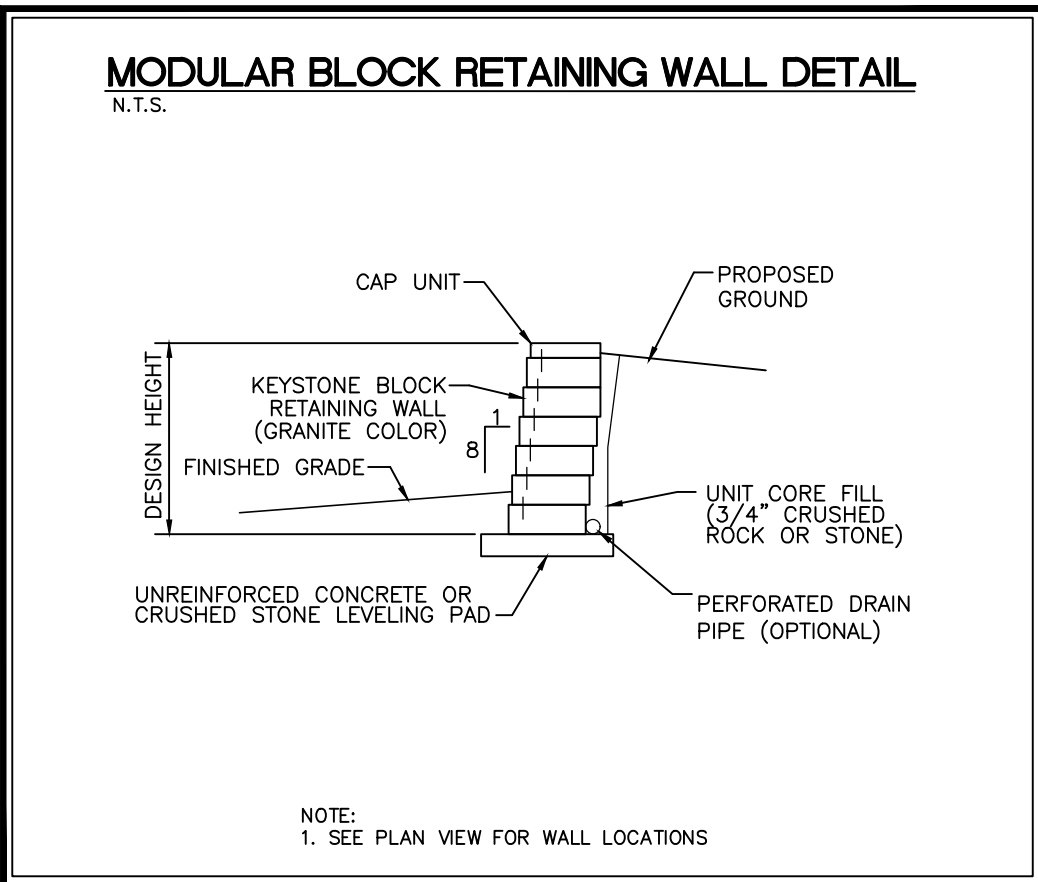
MMS CONSULTANTS, INC.

Date:	10/15/2025
Designed by:	BAH
Field Book No:	BK. 1428; P.9
Drawn by:	BAH
Scale:	NTS
Checked by:	CAT
Sheet No:	C500
Project No:	9870-009

C120 SITE LAYOUT AND DIMENSION PLAN
C140 SITE GRADING, EROSION CONTROL PLAN,
AND SWPPP
C141 DETAILED GRADING PLAN
C500 GENERAL NOTES AND DETAILS
L100 SITE LANDSCAPE PLAN



- PAVING CONSTRUCTION NOTES**
- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
 - I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
 - PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
 - SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
 - ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

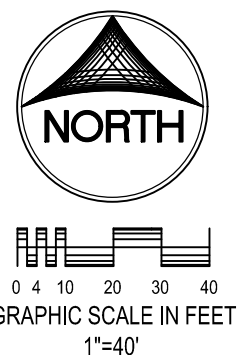


AMENDED SITE PLAN
LOT 5, COMMERCE COURT ADDITION
JOHNSON COUNTY, IOWA

PLAT/PLAN PREPARED BY:
MMS CONSULTANTS, INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
VAULT STORAGE, LLC
ROBISON CONSTRUCTION
701 CENTER POINT ROAD NE
CEDAR RAPIDS, IA 52402

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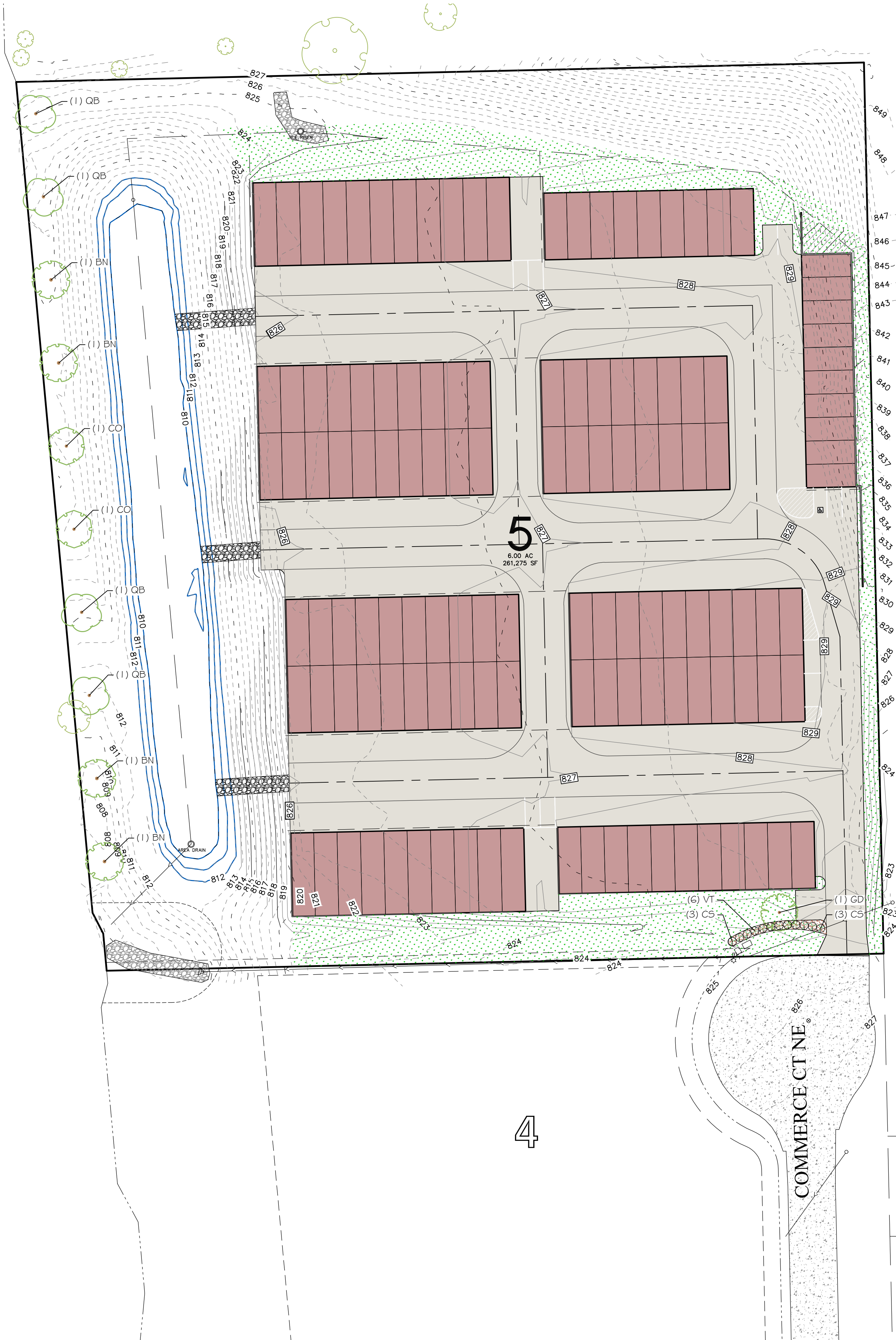


STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	EXIST- 22-1
	PROP- 22-1
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	PROPOSED ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	PROPOSED GAS LINES
	FIBER OPTIC
	OVERHEAD ELECTRIC
	CONTOUR LINES (INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



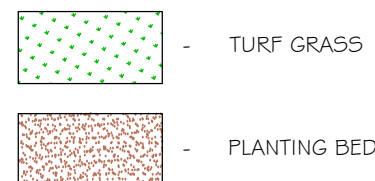
LANDSCAPE REQUIREMENTS

VEGETATIVE OVERSTORY:
- 1 TREE EVERY 50 LF OF FRONTAGE
- INTERSTATE 380: 536.26 / 50 = 10 TREES REQ.
- COMMERCE CT: 89.17 / 50 = 1 TREE REQ.

TOTAL = 11 TREES REQ.
11 TREES PROVIDED

VEGETATIVE UNDERSTORY:
NOT LESS THAN 66% SCREENING AT A HEIGHT OF 3'
- COMMERCE CT: 89.17 X 0.66 = 58.85 / 5 = 12 SHRUBS REQ.
12 SHRUBS PROVIDED

LANDSCAPE LEGEND



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. X W.
TREES							
	BN	4	Betula nigra	River Birch	2" Cal.	B4B	60' x 45'
	CO	2	Celtis occidentalis	Common Hackberry	2" Cal.	B4B	60' x 40'
	GD	1	Gymnocladus dioica 'Espresso-JF5'	Espresso Kentucky Coffeetree	2" Cal.	B4B	50' x 35'
	QB	4	Quercus bicolor	Swamp White Oak	2" Cal.	B4B	60' x 60'
SHRUBS, ORNAMENTAL GRASSES & PERENNIALS							
	CS	6	Cornus sericea 'Balladine' TM	Firedance Red Twig Dogwood	24" Ht.	Container	4' x 5'
	VT	6	Viburnum trilobum 'Bailey Compact'	Bailey's Compact Viburnum	30" Ht.	Container	6' x 5'

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

6.00 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

SITE LANDSCAPE PLAN

LOT 5, COMMERCE COURT ADDITION

JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 10/15/2025

Designed by: BAH Field Book No: BK. 1428; P.9

Drawn by: BAH Scale: 1"=40'

Checked by: CAT Sheet No:

Project No: L100

9870-009 of: 5