

## PLANNING APPLICATION COVER SHEET

**PROJECT TYPE: Site Plan**

**NO. SP26-000007**

**APPLICATION DATE: 09/10/2026**

**PROPERTY OWNER: CAREX PROPERTIES LLC**

**APPLICANT: Lacey Stutzman**

**WORK DESCRIPTION: Lot 1, Carex Hills**

**SITE ADDRESS: 3182 IWV RD SW**

### **PROPERTY INFORMATION**



**Planning, Development and Sustainability**

**913 S. Dubuque St. Iowa City, IA 52240**

**[planning@johnsoncountyiowa.gov](mailto:planning@johnsoncountyiowa.gov). 319-356-6083**

**<https://www.johnsoncountyiowa.gov/pds>**



# MMS Consultants, Inc.

*Experts in Planning and Development Since 1975*

1917 S. Gilbert Street  
Iowa City, Iowa 52240

**319.351.8282**

mmsconsultants.net  
mms@mmsconsultants.net

Environmental Specialists

Landscape Architects

Land Planners

Land Surveyors

Civil Engineers

September 10, 2026

Jessalyn Brooks  
Johnson County Planning, Development, & Sustainability Dept.  
913 S. Dubuque St, Suite 204  
Iowa City, IA 52240

RE: Carex Hills – Site Plan

Dear Josh,

On behalf of Carex Properties LLC, we are submitting a new site plan on their Lot 1 Carex Hills property which is proposing two additional structures. One of the structures will be utilized for warehouse storage and is located in the far Northwest corner of the site. The other is located just North of the existing Landscaping Business building and will be a greenhouse to facilitate on site live plant material.

The site plan has also been updated to reflect the outdoor parking requirements as requested. An existing well and septic system have been installed on site, and a sensitive areas report was submitted with the subdivision process in 2025. We do not feel that the additional proposed building structures warrant any change to the stormwater report for the site. The existing access on the IWW will continue to be utilized.

Please let us know if you have any questions or concerns.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Lacey S. Stutzman'.

Lacey S. Stutzman

10656-002\_Letter of Intent\_Site\_Plan2.docx



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

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Date Revision

## SITE LAYOUT AND DIMENSION PLAN

LOT 1,  
CAREX HILLS

JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 09/10/2026

Designed by: CAT Field Book No:

Drawn by: HEH/LSS Scale: 1"=50'

Checked by: CAT Sheet No:

Project No: C120

10656-002 of:

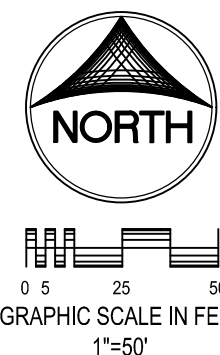
# FINAL SITE PLAN LOT 1, CAREX HILLS JOHNSON COUNTY, IOWA

PLAT/PLAN PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER/APPLICANT:  
CAREX PROPERTIES, LLC  
PO BOX 621  
IOWA CITY IA 52244

C120  
C140  
C141  
C160  
C500  
L100  
SANI

SITE LAYOUT AND DIMENSION PLAN  
SITE GRADING, EROSION CONTROL PLAN,  
AND SWPPP  
GRADING PLAN  
UTILITY PLAN  
GENERAL NOTES AND DETAILS  
LANDSCAPE PLAN  
SEPTIC PLAN



### STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- EXISTING POWER POLE
- PROPOSED POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- PROPOSED ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- PROPOSED GAS LINES
- FIBER OPTIC
- OVERHEAD ELECTRIC
- CONTOUR LINES ( INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUB

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

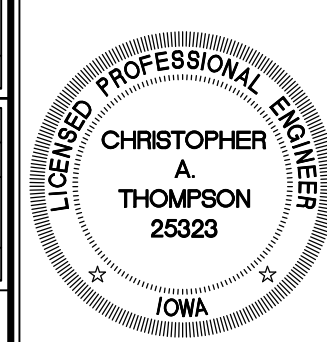
THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

| KEYNOTES | KEYNOTE                                                                                   |
|----------|-------------------------------------------------------------------------------------------|
| 1        | INSTALL DRIVE AND PARKING (SEE PAVING LEGEND TABLE THIS SHEET FOR THICKNESS AND MATERIAL) |
| 2        | INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)                                                   |
| 4        | INSTALL 6" HIGH FENCE AND GATE                                                            |
| 5        | INSTALL ADA STRIPING AND SYMBOL                                                           |
| 6        | INSTALL ADA SIGNAGE                                                                       |
| 7        | INSTALL DUMPSTER ENCLOSURE                                                                |
| 8        | INVERT BIKE RACK PER DETAIL SHEET (C500)                                                  |
| 9        | REMOVE 737 LF OF EXISTING FENCE                                                           |
| 10       | EV CHARGING SPOTS WITH CHARGING PORTS PER JOHNSON COUNTY UDO SECTION 8:1.25.E.5.1         |
| 11       | GAS, ELECTRIC, AND INTERNET, COORDINATE WITH MEP.                                         |
| 12       | INSIDE PARKING SPACE (TYP)                                                                |
| 13       | BUNKER BLOCK WALL.                                                                        |
| 14       | ROOF DRAINS TO DIRECT HALF THE BUILDING AREA TO EACH BIO-CELL.                            |
| 15       | PROPOSED GREEN HOUSE.                                                                     |
| 16       | PROPOSED COVERED STORAGE.                                                                 |

- WATERCOURSE  
(344 LINEAR FEET)
- 30' WATERCOURSE BUFFER
- SENSITIVE WOODLAND  
(0.30 ACRES)
- 50' WOODLAND BUFFER  
(0.93 ACRES)
- LIMITS OF DISTURBANCE

|                                     |                              |
|-------------------------------------|------------------------------|
| PLAN APPROVED BY:                   | APPLICANT                    |
|                                     | DATE                         |
| PLAN APPROVED BY:                   | JOHNSON COUNTY PUBLIC HEALTH |
|                                     | DATE                         |
| PLAN APPROVED BY:                   |                              |
|                                     | DATE                         |
| JOHNSON COUNTY ZONING ADMINISTRATOR | DATE                         |



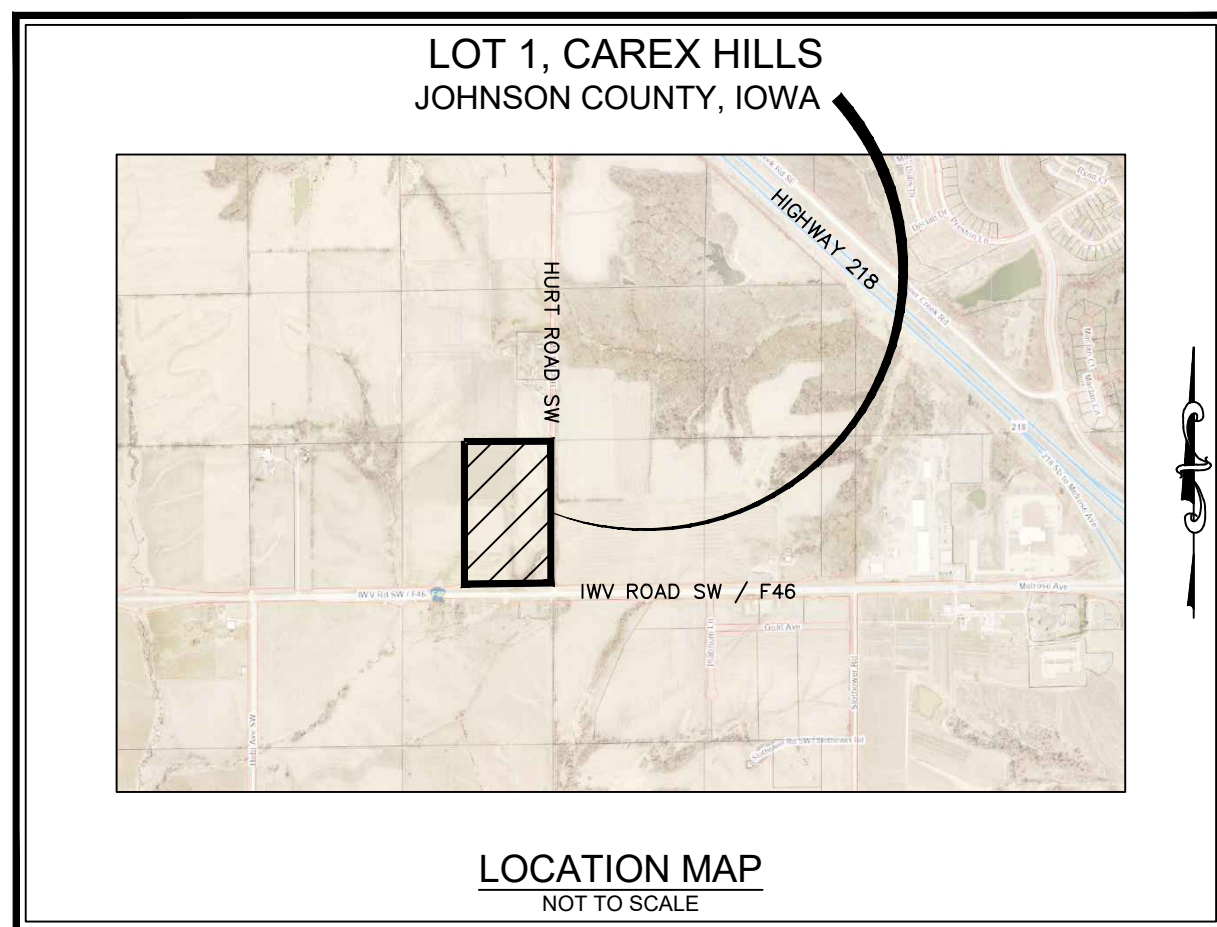
I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

CHRISTOPHER A. THOMPSON, P.E. Iowa Lic. No. 25323

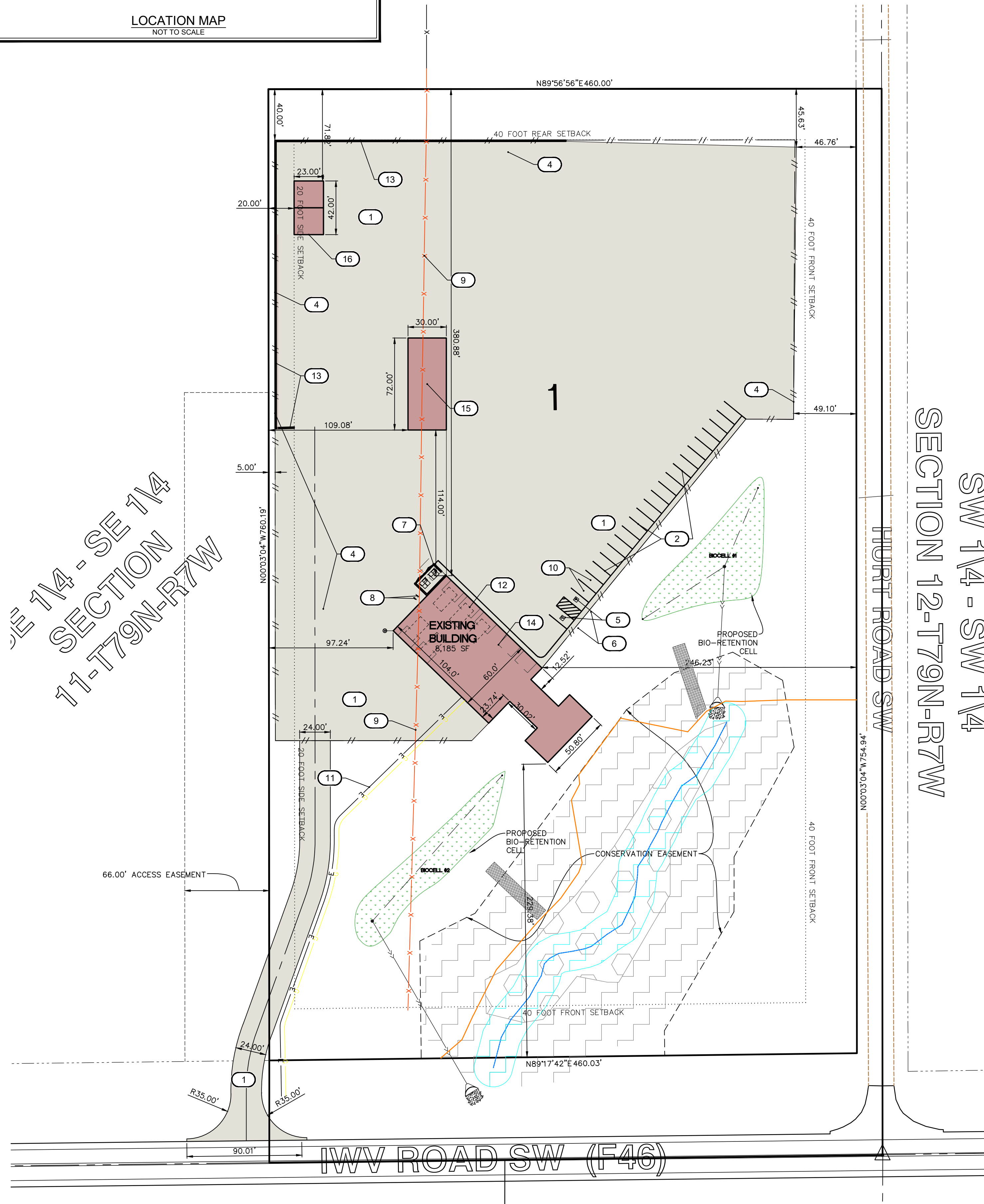
My license renewal date is December 31, 2028.

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ALL SHEETS

SEAL



LOCATION MAP  
NOT TO SCALE





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SITE GRADING,  
EROSION CONTROL  
PLAN, AND SWPPP

LOT 1,  
CAREX HILLS

JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 09/10/2026

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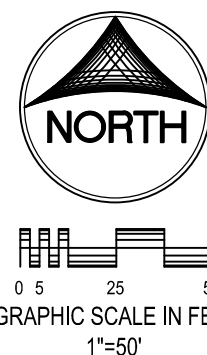
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C120 SITE LAYOUT AND DIMENSION PLAN  
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AND SWPPP  
C141 GRADING PLAN  
C160 UTILITY PLAN  
C500 GENERAL NOTES AND DETAILS  
L100 LANDSCAPE PLAN  
SANI SEPTIC PLAN



## EROSION CONTROL LEGEND

|                                                            |                                 |
|------------------------------------------------------------|---------------------------------|
| AREA OF DISTURBANCE                                        | PERIMETER SILT FENCE            |
| SILT FENCE                                                 | TEMPORARY SOIL STOCKPILE AREA   |
| TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT                  | DIRECTION OF OVERLAND FLOW      |
| TEMPORARY PARKING AND STORAGE                              | DUMPSTER FOR CONSTRUCTION WASTE |
| CONCRETE TRUCK/EQUIPMENT WASHOUT                           | RIP RAP OUTLET PROTECTION       |
| PORTABLE RESTROOM                                          |                                 |
| DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.) |                                 |
| FILTER SOCK INLET PROTECTION                               |                                 |
| FILTER SOCK BEHIND CURB AT CURB RAMP                       |                                 |

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

## PERMANANT SEEDING OF URBAN AREAS

THE FOLLOWING SEED MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF ALL GREEN SPACE AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. THE APPLICATION RATE SHALL BE 4 POUNDS PER 1,000 SQUARE FEET (2 kg per 100 m<sup>2</sup>).

|                                        |     |
|----------------------------------------|-----|
| BLUEGRASS, KENTUCKY                    | 70% |
| RYEGRASS, PERENNIAL (FINELEAF VARIETY) | 10% |
| FESCUE, CREEPING RED                   | 20% |

## SOIL QUALITY RESTORATION NOTES

- UPON COMPLETION OF SITE GRADING AND CONSTRUCTION ACTIVITIES, THE AREA WHERE SOIL IS TO BE AMENDED SHOULD BE INSPECTED. THE SURFACE SHOULD BE FREE OF ANY DEBRIS AND STONES LARGER THAN 2" DIAMETER. REMOVE SMALLER ROCKS OR GRAVEL IF THEY DENSELY COVER THE SURFACE IN A GIVEN AREA.
- SPREAD 2 INCHES OF COMPOST PRIOR TO TILLAGE.
- SPREAD 1 INCH OF WASHED CONCRETE SAND PRIOR TO TILLAGE.
- INCORPORATE COMPOST AND SAND THROUGH TILLAGE TO A MINIMUM DEPTH OF 8 INCHES.
- APPLY SOIL QUALITY RESTORATION ON ALL AREAS TO RECEIVE PERMANENT SEEDING.

## LEGEND

WATERSHED BOUNDARY  
FOR EACH PRACTICE

BIO-CELL (9,422 SF)

SQR AREA



## UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

## NOTES:

- TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
- FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.
- AREAS WITH SLOPES OF 4:1 SHOULD USE NORTH AMERICAN GREEN S75BN TURF REINFORCEMENT MATTING OR APPROVED EQUAL PER MANUFACTURER'S SPEC.

|  |                                     |
|--|-------------------------------------|
|  | WATERCOURSE<br>(344 LINEAR FEET)    |
|  | 30' WATERCOURSE<br>BUFFER           |
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|  | LIMITS OF DISTURBANCE               |

## STABILIZATION SEEDING

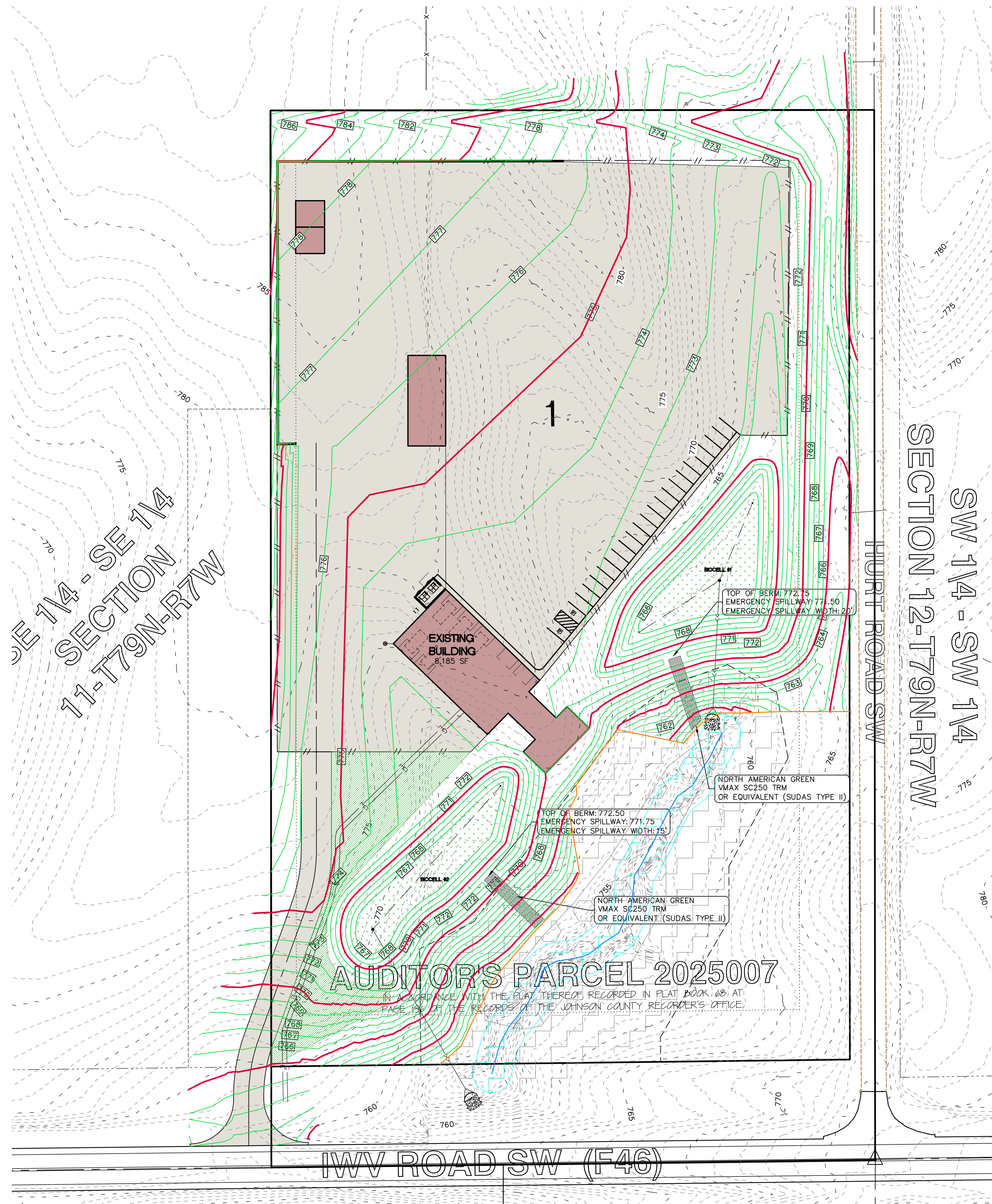
STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.02 SEED MIXTURES AND SEEDING DATES.

TABLE 9010.06: TYPE 4 SEED MIXTURE

| COMMON NAME                     | APPLICATION RATE lb/acre |
|---------------------------------|--------------------------|
| SPRING - MARCH 1 - MAY 20       |                          |
| ANNUAL RYEGRASS                 | 40                       |
| OATS*                           | 65                       |
| SUMMER - MAY 21 - AUGUST 14     |                          |
| ANNUAL RYEGRASS                 | 50                       |
| OATS*                           | 95                       |
| FALL - AUGUST 15 - SEPTEMBER 30 |                          |
| ANNUAL RYEGRASS                 | 40                       |
| GRAIN RYE                       | 65                       |

\*ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.

FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)



## GRADING NOTES

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5; HORIZONTAL TO 1; VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH JOHNSON COUNTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

## GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 8.00 ACRES  
TOTAL AREA TO BE DISTURBED: 8.28 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE. FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

## STANDARD LEGEND AND NOTES

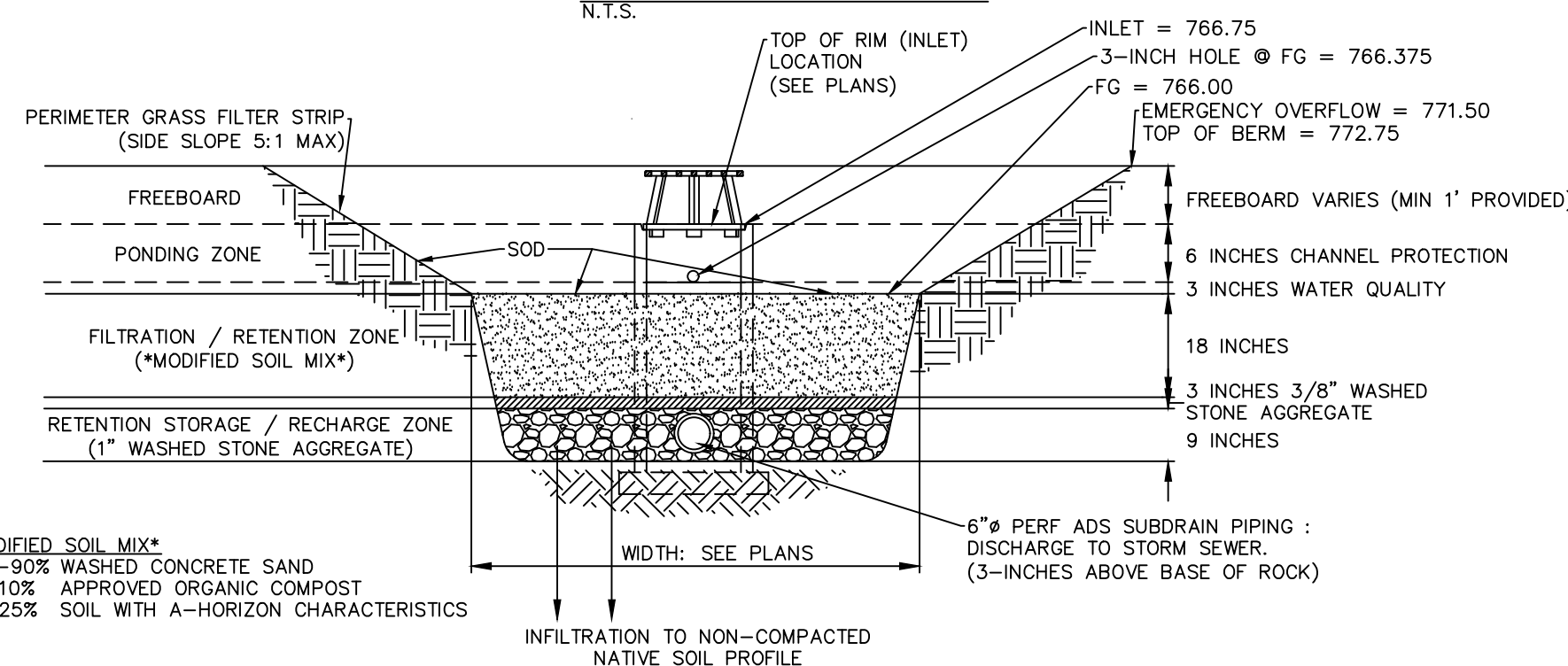
|  |                                   |
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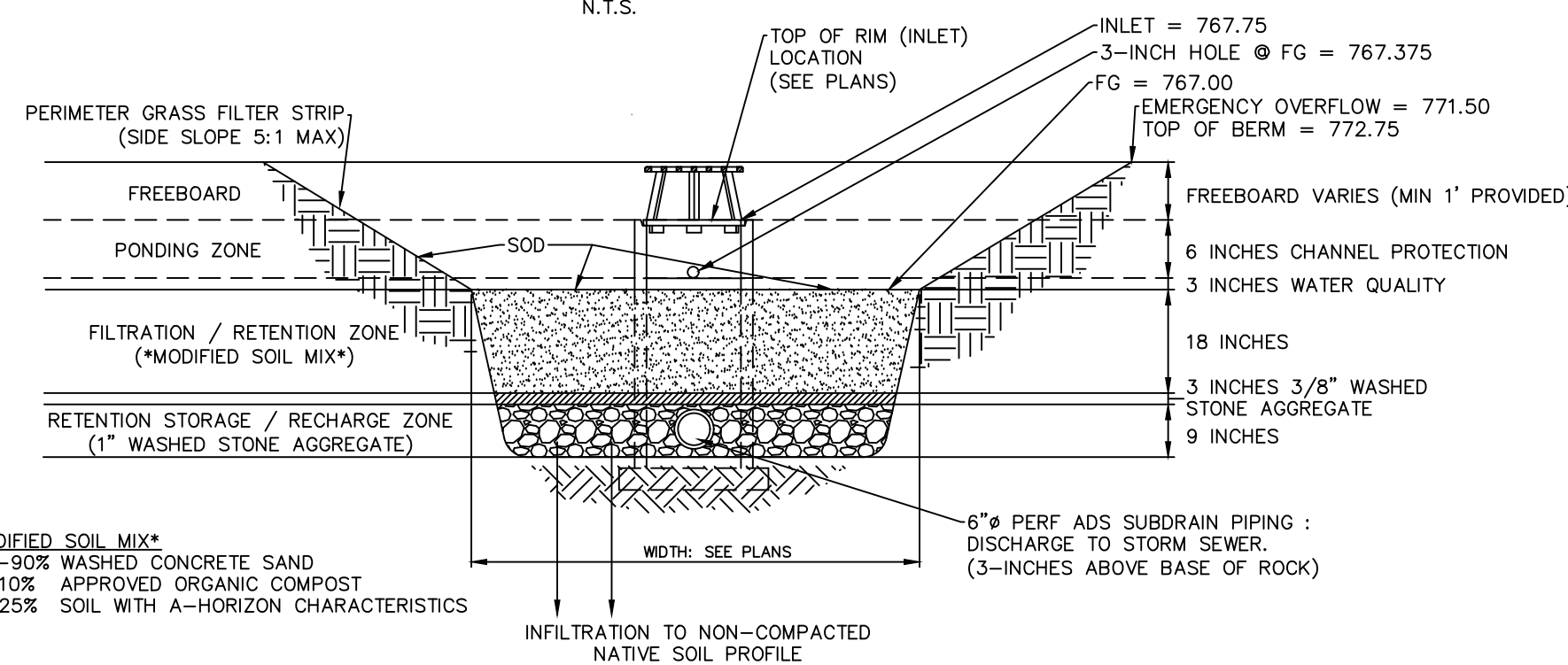
## BIO-RETENTION CELL # 1



CONSTRUCTION NOTES: (REFER TO THE IOWA STORMWATER MANAGEMENT MANUAL SECTION 2E-4, C)

- CONTRACTOR SHALL PLACE MODIFIED SOIL WITHOUT COMPACTING. GRADE SHALL BE LEFT 1" HIGH TO ALLOW FOR NATURAL SETTLING.
- CONTRACTOR SHALL PROVIDE NO LESS THAN 72 HOURS NOTICE TO INSPECTOR PRIOR TO CONSTRUCTION OF STORMWATER QUALITY PRACTICES.
- BIO-RETENTION CELL SHALL NOT BE INSTALLED UNTIL AFTER PAVING AND STABILIZATION SEEDING OF THE TRIBUTARY AREA.
- SURFACE AREA AND BOTTOM OF BIO-RETENTION CELL SHALL BE GRADED LEVEL END TO END AND SIDE TO SIDE.
- BIO-CELL ON THE EAST SIDE OF THE BUILDING WILL BE PLANTED PER LANDSCAPE PLAN.

## BIO-RETENTION CELL # 2



CONSTRUCTION NOTES: (REFER TO THE IOWA STORMWATER MANAGEMENT MANUAL SECTION 2E-4, C)

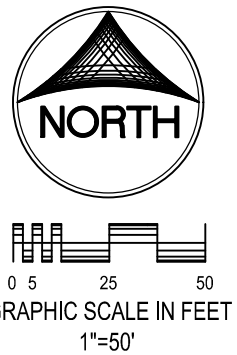
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FINAL SITE PLAN  
LOT 1, CAREX HILLS  
JOHNSON COUNTY, IOWA

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Date Revision

GRADING PLAN

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MMS CONSULTANTS, INC.

Date: 09/10/2026

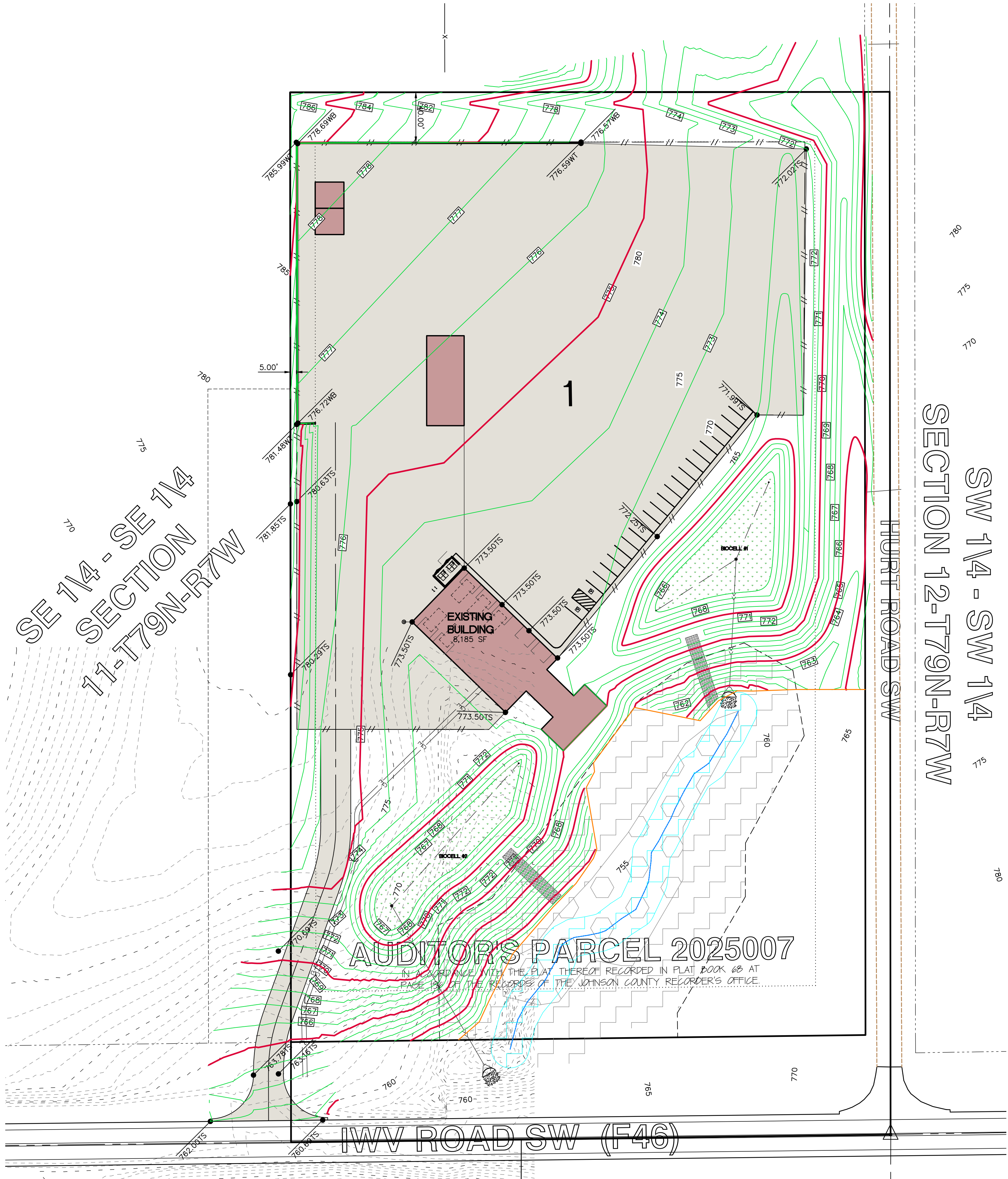
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10656-002 of:



| GRADING LEGEND |                     |
|----------------|---------------------|
| ●000.00EX      | = EXISTING SURFACE  |
| ●000.00FG      | = FINISH GRADE      |
| ●000.00TS      | = TOP SLAB          |
| ●000.00TW      | = TOP WALK          |
| ●000.00TC      | = TOP CURB          |
| ●000.00TR      | = TOP RIM           |
| ●000.00WT      | = FG AT TOP WALL    |
| ●000.00WB      | = FG AT BOTTOM WALL |
| ●000.00TOP     | = TOP OF STEPS      |
| ●000.00BOT     | = BOTTOM OF STEPS   |

| STANDARD LEGEND AND NOTES                                                                                                                                                                  |                                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|
| ---                                                                                                                                                                                        | PROPERTY &/or BOUNDARY LINES      |
| ---                                                                                                                                                                                        | CONGRESSIONAL SECTION LINES       |
| ---                                                                                                                                                                                        | RIGHT-OF-WAY LINES                |
| ---                                                                                                                                                                                        | EXISTING RIGHT-OF-WAY LINES       |
| ---                                                                                                                                                                                        | CENTER LINES                      |
| ---                                                                                                                                                                                        | EXISTING CENTER LINES             |
| ---                                                                                                                                                                                        | LOT LINES, INTERNAL               |
| ---                                                                                                                                                                                        | LOT LINES, PLATTED OR BY DEED     |
| ---                                                                                                                                                                                        | PROPOSED EASEMENT LINES           |
| ---                                                                                                                                                                                        | EXISTING EASEMENT LINES           |
| ---                                                                                                                                                                                        | BENCHMARK                         |
| ---                                                                                                                                                                                        | RECORDED DIMENSIONS               |
| ---                                                                                                                                                                                        | CURVE SEGMENT NUMBER              |
| ---                                                                                                                                                                                        | 22-1                              |
| ---                                                                                                                                                                                        | EXIST- POWER POLE                 |
| ---                                                                                                                                                                                        | POWER POLE W/DROP                 |
| ---                                                                                                                                                                                        | POWER POLE W/TRANS                |
| ---                                                                                                                                                                                        | POWER POLE W/LIGHT                |
| ---                                                                                                                                                                                        | GUY POLE                          |
| ---                                                                                                                                                                                        | LIGHT POLE                        |
| ---                                                                                                                                                                                        | SANITARY MANHOLE                  |
| ---                                                                                                                                                                                        | FIRE HYDRANT                      |
| ---                                                                                                                                                                                        | WATER VALVE                       |
| ---                                                                                                                                                                                        | DRAINAGE MANHOLE                  |
| ---                                                                                                                                                                                        | CURB INLET                        |
| ---                                                                                                                                                                                        | FENCE LINE                        |
| ---                                                                                                                                                                                        | EXISTING SANITARY SEWER           |
| ---                                                                                                                                                                                        | PROPOSED SANITARY SEWER           |
| ---                                                                                                                                                                                        | EXISTING STORM SEWER              |
| ---                                                                                                                                                                                        | PROPOSED STORM SEWER              |
| ---                                                                                                                                                                                        | WATER LINES                       |
| ---                                                                                                                                                                                        | ELECTRICAL LINES                  |
| ---                                                                                                                                                                                        | PROPOSED ELECTRICAL LINES         |
| ---                                                                                                                                                                                        | TELEPHONE LINES                   |
| ---                                                                                                                                                                                        | GAS LINES                         |
| ---                                                                                                                                                                                        | PROPOSED GAS LINES                |
| ---                                                                                                                                                                                        | FIBER OPTIC                       |
| ---                                                                                                                                                                                        | OHE OVERHEAD ELECTRIC             |
| ---                                                                                                                                                                                        | CONTOUR LINES (INTERVAL)          |
| ---                                                                                                                                                                                        | PROPOSED GROUND                   |
| ---                                                                                                                                                                                        | EXISTING TREE LINE                |
| ---                                                                                                                                                                                        | EXISTING DECIDUOUS TREE & SHRUB   |
| ---                                                                                                                                                                                        | EXISTING EVERGREEN TREES & SHRUBS |
| THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT. |                                   |
| THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND JOHNSON COUNTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.                                    |                                   |
| THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.                                                                                  |                                   |

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8989 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SM



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

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(319) 351-8282  
[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date Revision

UTILITY PLAN

LOT 1,  
CAREX HILLS

JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 09/10/2026

Designed by: CAT Field Book No:

Drawn by: HEH/LSS Scale: 1"=30'

Checked by: CAT Sheet No:

Project No: C160

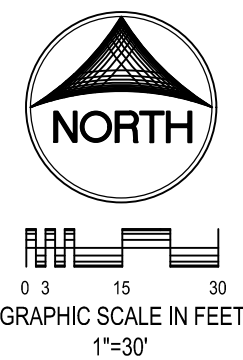
10656-002 of:

FINAL SITE PLAN  
LOT 1, CAREX HILLS  
JOHNSON COUNTY, IOWA

PLAT/PLAN PREPARED BY: MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

OWNER/APPLICANT: CAREX PROPERTIES, LLC  
PO BOX 621  
IOWA CITY IA 52244

C120 SITE LAYOUT AND DIMENSION PLAN  
C140 SITE GRADING, EROSION CONTROL PLAN,  
AND SWPPP  
C141 GRADING PLAN  
C160 UTILITY PLAN  
C500 GENERAL NOTES AND DETAILS  
L100 LANDSCAPE PLAN  
SANI SEPTIC PLAN



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
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- PROPOSED STORM SEWER
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| Date | Revision |
|------|----------|
|------|----------|

GENERAL NOTES  
AND DETAILS

LOT 1,  
CAREX HILLS

JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

|              |                |
|--------------|----------------|
| Date:        | 09/10/2026     |
| Designed by: | Field Book No: |
| Drawn by:    | CAT            |
| Checked by:  | HEH/LSS        |
| Project No:  | CAT            |
| Scale:       | NTS            |
| Sheet No:    | C500           |
| 10656-002    | of:            |

STORM SEWER NOTES

- 1) STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. JOHNSON COUNTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- 4) ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS "C" BEDDING, UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- 5) STORM SEWERS SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
  - A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 6) GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- 7) ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 8) ALL PIPE SHALL BE CERTIFIED.
- 9) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 10) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 11) MANHOLES SHALL NOT HAVE STEPS
- 12) MANHOLES SHALL HAVE AN EXTERNAL CHIMNEY SEAL BY INFISHIELD UNIBAND, CRETEX, OR APPROVED EQUAL.
- 13) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.
- 14) ALL STORM SEWER STRUCTURES ARE TO BE WATER TIGHT WITH WATER STOP USED IN CONSTRUCTION JOINT AND PENETRATIONS. RISERS SHALL BE LADITECH HDPE RISERS OR CRETEX PRO-RING.
- 15) WALL PENETRATIONS TO BE CIRCULAR BY HOLE SAW, NOT BY CHOP SAW. ALL STRUCTURES REQUIRE CHIMNEY SEALS. RISER AND CHIMNEY PRODUCTS ARE AVAILABLE IN RECTANGULAR CONFIGURATIONS.

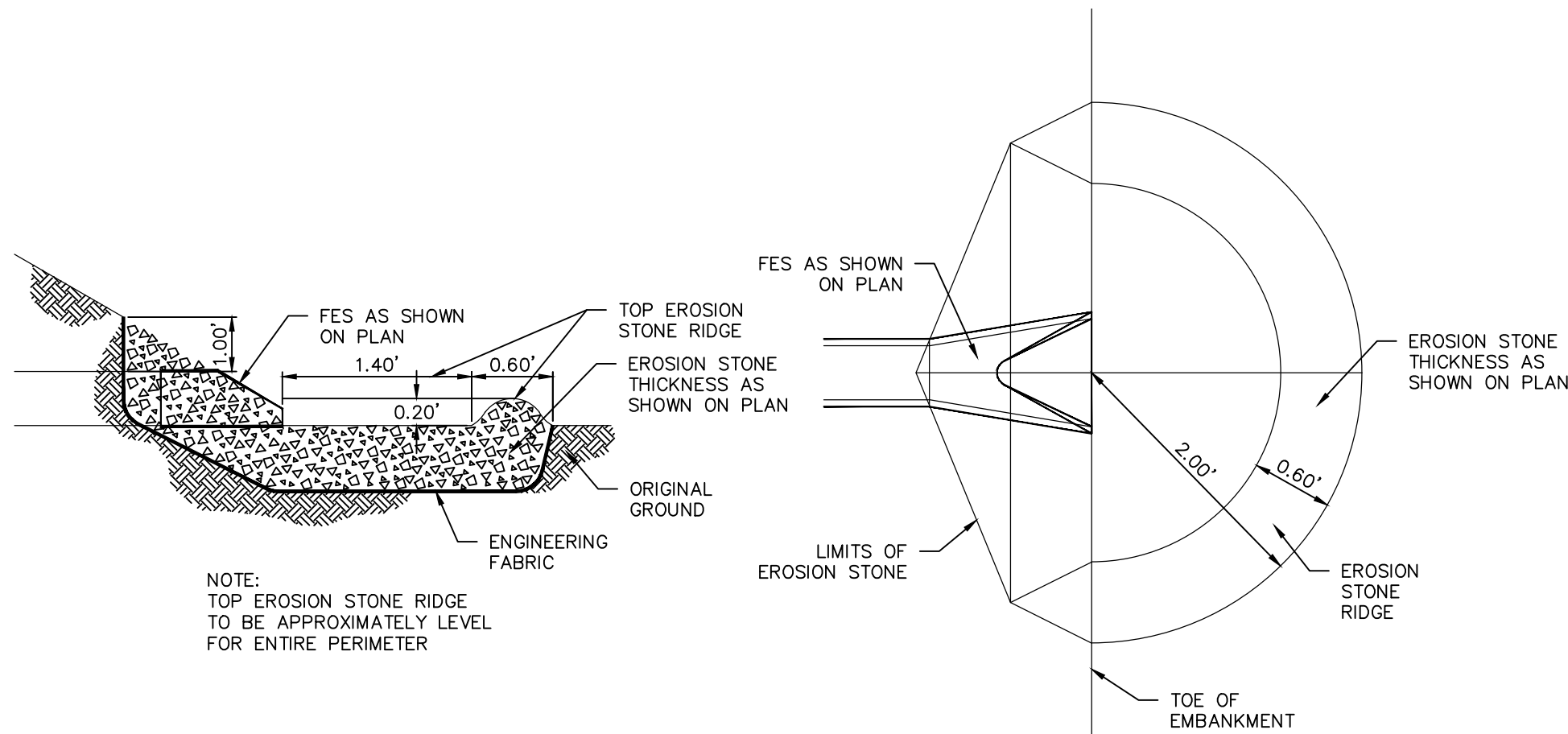
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| ID INCHES | Bd FEET & INCHES |
|-----------|------------------|
| 12        | 2'-3             |
| 15        | 2'-9             |
| 18        | 3'-0             |
| 21        | 3'-3             |
| 24        | 3'-6             |
| 27        | 4'-0             |
| 30        | 4'-3             |
| 36        | 4'-9             |
| 42        | 5'-6             |
| 48        | 6'-3             |

- NOTES:
1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
  2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
  3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
  4. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
  5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bd.

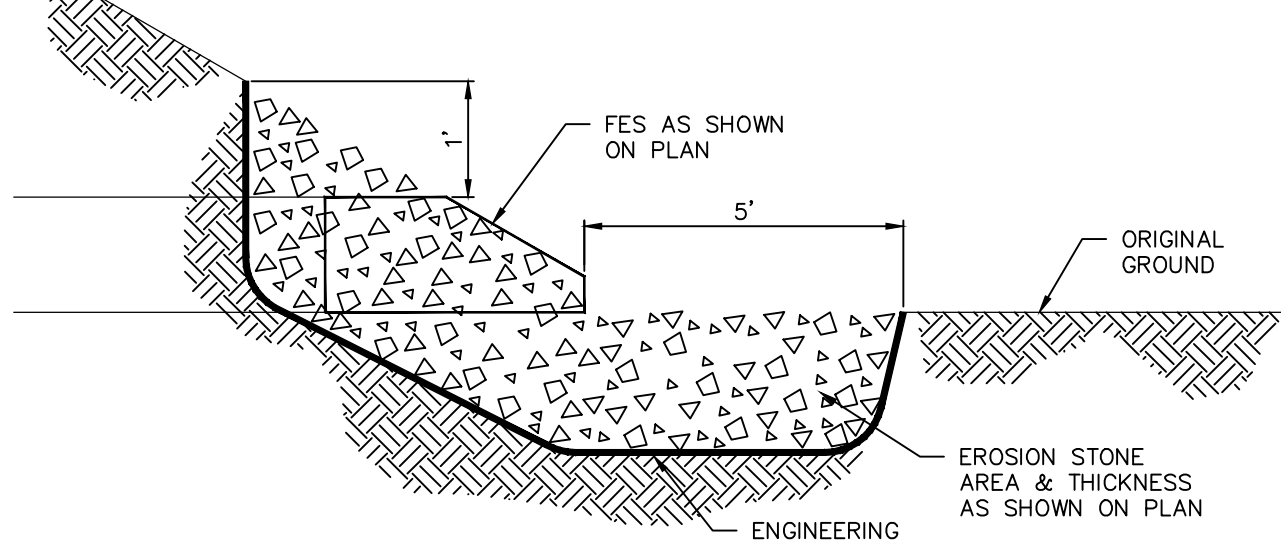
CLASS "C" BEDDING

FES OUTLET DETAIL  
N.T.S.



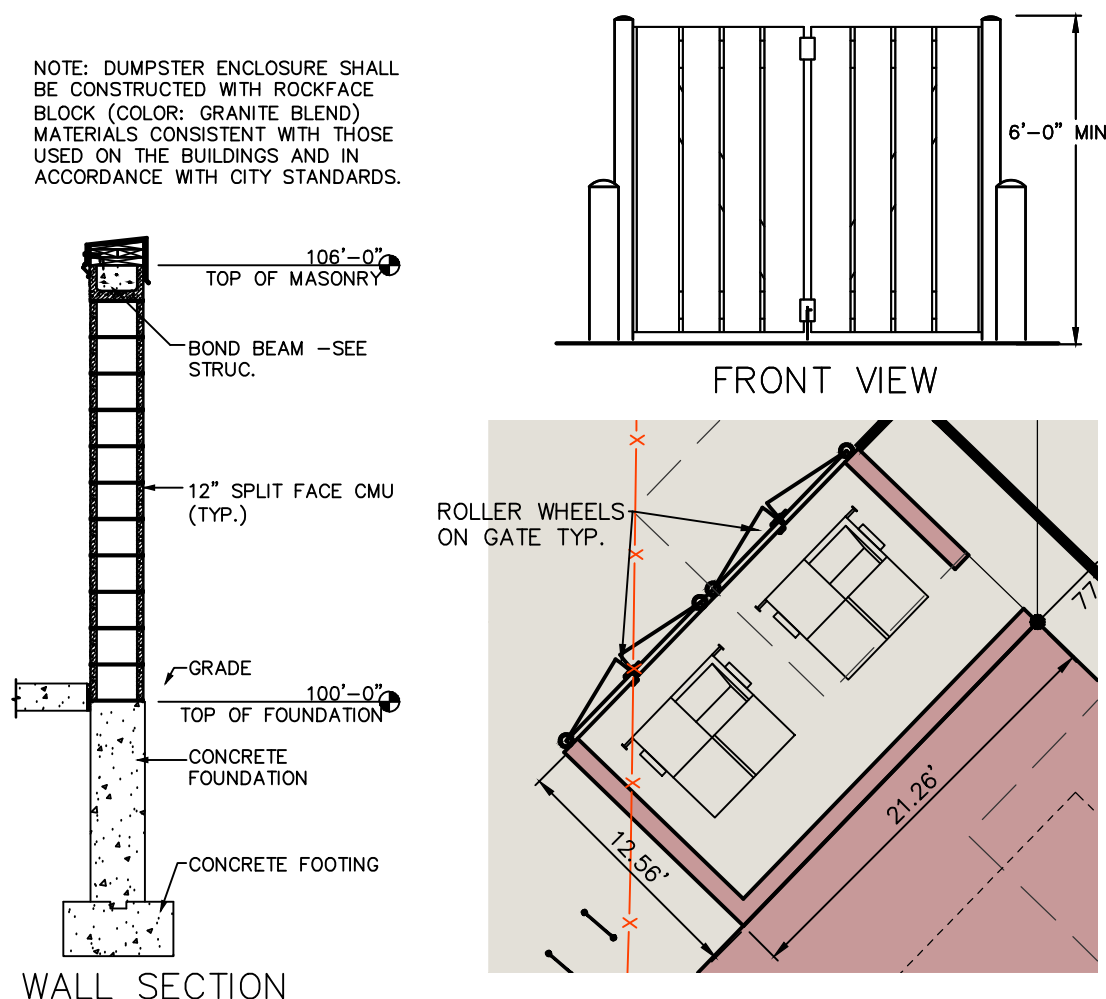
NOTE:  
TOP EROSION STONE RIDGE  
TO BE APPROXIMATELY LEVEL  
FOR ENTIRE PERIMETER

FES INLET DETAIL  
N.T.S.

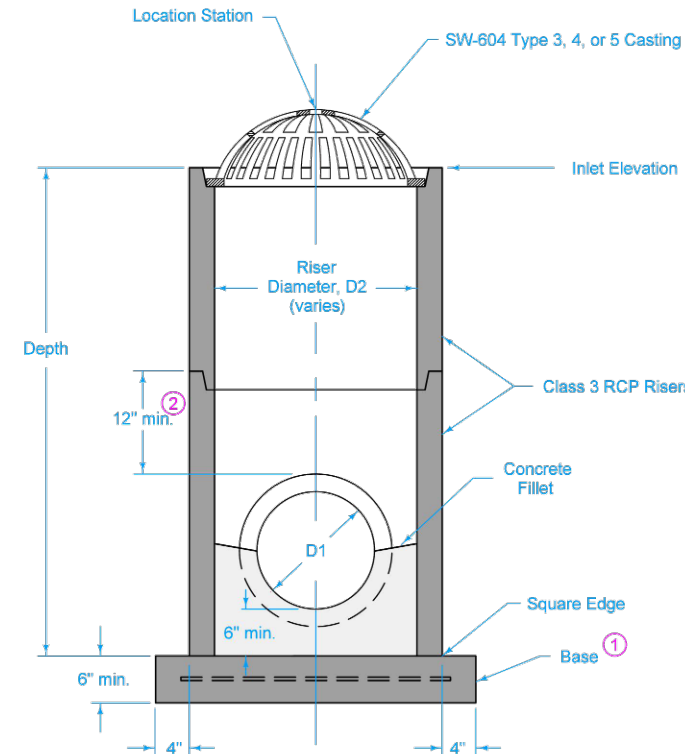


TRASH ENCLOSURE DETAIL  
N.T.S.

NOTE: DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH ROCKFACE BLOCK (COLOR: GRANITE BLEND) MATERIALS CONSISTENT WITH THOSE USED ON THE BUILDINGS AND IN ACCORDANCE WITH CITY STANDARDS.



- 1) Precast (shown) or cast-in-place base:
  - Precast: 8 inch thick concrete with #6 welded wire mesh on 4 inch centers (WMP 4" x 4"). Center mesh vertically within base.
  - Cast-in-place: 8 inch thick non-reinforced concrete.
- 2) 12 inch minimum riser height above all pipes.



| Outlet Pipe Diameter, D1 | Minimum Riser Diameter, D2 |
|--------------------------|----------------------------|
| 12"                      | 18"                        |
| 15"                      | 24"                        |
| 18"                      | 24"                        |
| 21"                      | 30"                        |
| 24"                      | 30"                        |
| 27"                      | 36"                        |

|                                      |                    |              |
|--------------------------------------|--------------------|--------------|
| SUDAS                                | IOWA DOT           | SW-512       |
| FIGURE 4015.02                       | STANDARD ROAD PLAN | SHEET 4 OF 2 |
| Revised: Change 1 to Building Formed |                    |              |
| Plan by: [Signature]                 |                    |              |
| CIRCULAR AREA INTAKE                 |                    |              |

- |      |                                               |
|------|-----------------------------------------------|
| C120 | SITE LAYOUT AND DIMENSION PLAN                |
| C140 | SITE GRADING, EROSION CONTROL PLAN, AND SWPPP |
| C141 | GRADING PLAN                                  |
| C160 | UTILITY PLAN                                  |
| C500 | GENERAL NOTES AND DETAILS                     |
| L100 | LANDSCAPE PLAN                                |
| SANI | SEPTIC PLAN                                   |



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Date Revision

LANDSCAPE PLAN

LOT 1,  
CAREX HILLS

JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 09/10/2026

Designed by: CAT Field Book No:

Drawn by: HEH/LSS Scale: 1"=50'

Checked by: CAT Sheet No:

Project No: L100

10656-002 of:

FINAL SITE PLAN  
LOT 1, CAREX HILLS  
JOHNSON COUNTY, IOWA

PLAT/PLAN PREPARED BY:  
MMS CONSULTANTS, INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

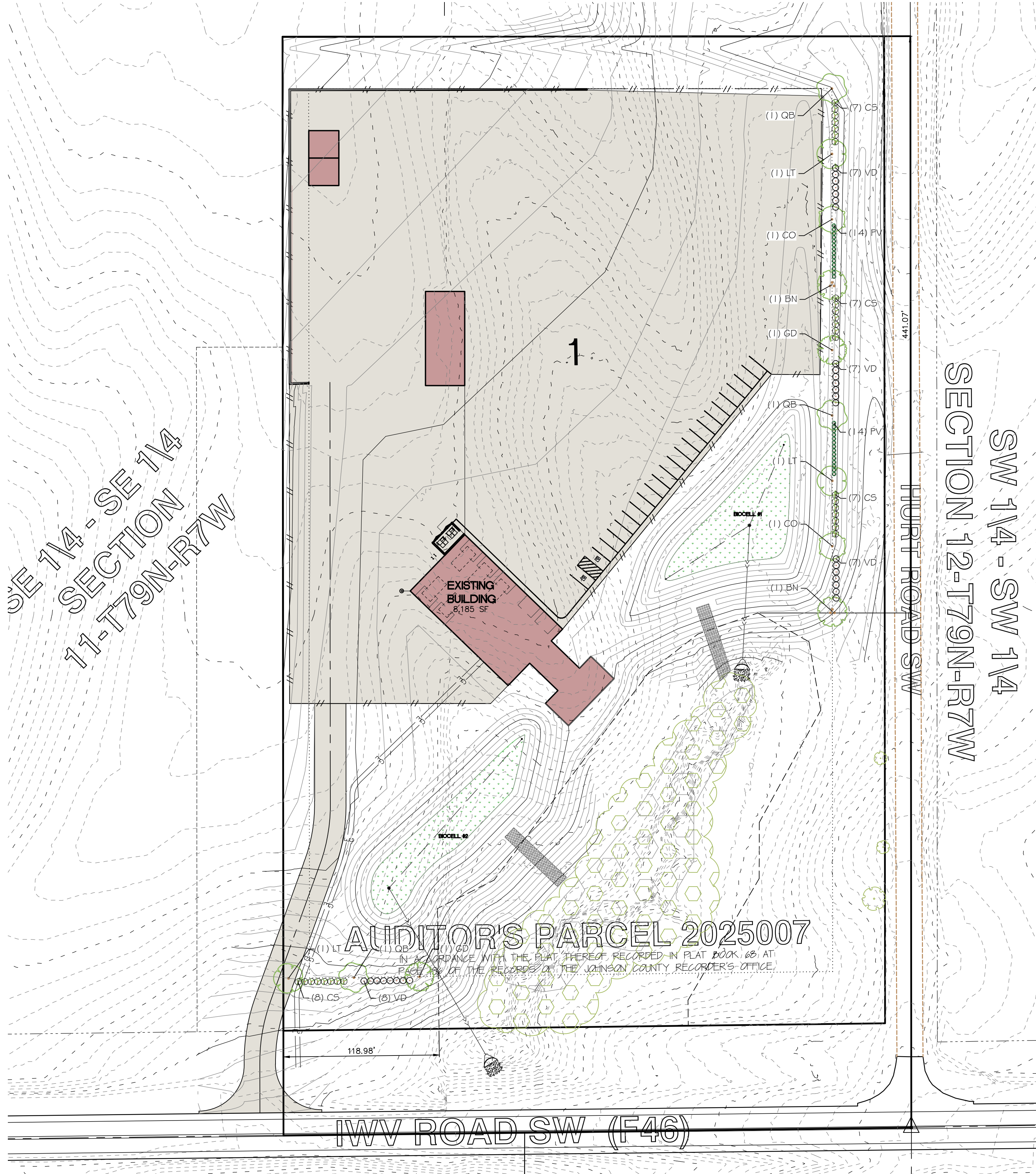
OWNER/APPLICANT:  
CAREX PROPERTIES, LLC  
PO BOX 621  
IOWA CITY IA 52244



GRAPHIC SCALE IN FEET  
1"=50'

C120 SITE LAYOUT AND DIMENSION PLAN  
C140 SITE GRADING, EROSION CONTROL PLAN,  
AND SWPPP  
C141 GRADING PLAN  
C160 UTILITY PLAN  
C500 GENERAL NOTES AND DETAILS  
L100 LANDSCAPE PLAN  
SANI SEPTIC PLAN

- LANDSCAPE NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
  - PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
  - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 1990, OR MOST RECENT ADDITION.
  - LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL, ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 3" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. (PRIOR TO BEDDING, CONTRACTOR IS RECOMMENDED TO VISIT SITE).
  - FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
  - ALL PERENNIAL AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 2" DEEP BED OF DOUBLE SHREDDED HARDWOOD DARK MULCH AND AN APPLICATION OF A PRE-EMERGENT (TREEDY OR APPROVED EQUAL) FOR WEED CONTROL.
  - LANDSCAPE EDGING BETWEEN DARK MULCH AND LAWN AREAS SHALL BE A SPACE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS.
  - STAKING SHALL BE REQUIRED ON ALL TREES (EXCEPT MULTI-STEM VARIETIES) STAKE USING (3) OR (5) #6 STEEL "T" POST PLACED OUTSIDE OF ROOTBALL AND ADHERED TO TRUNK WITH 16 GAUGE CABLE AND NYLON NYLON TREE STRAPS.
  - ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.
  - ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4" DIA. RING OF DOUBLE SHREDDED HARDWOOD DARK MULCH AT A 9" DEEP.
  - ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (90) DAYS OR UNTIL ROOTED IN.
  - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.
  - ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
  - KEEP ALL REMAINING AREAS WITH EXIST. URBAN MUL.



**UTILITIES**

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LANDSCAPING STANDARDS

- iii. VEGETATIVE OVERSTORY: NO FEWER THAN 1 TREE EVERY 50 FEET OF FRONTAGE AND/OR BUFFERYARD. TREES SHALL HAVE A MIN. MATURE HEIGHT OF 25' AND SHALL BE AT LEAST 6" TALL WITHIN 3 YEARS OF INSTALLATION.
- 1,214.97' / 50' = 25 TREES REQUIRED
  - 12 TREES PROVIDED\*
- \*REQUESTING OVERSTORY REQUIREMENTS BE REDUCED DUE TO TOPOGRAPHY OF THE SITE AND EXISTING WOODED AREA WITHIN THE CONSERVATION EASEMENT.
- IWV RD SW = 118.98' OF FRONTAGE WEST OF CONSERVATION EASEMENT
  - 118.98' / 50' = 3 TREES REQ.
  - 3 TREES PROVIDED
  - HURT RD SW = 441.07' OF FRONTAGE NORTH OF CONSERVATION EASEMENT
  - 441.07' / 50' = 9 TREES REQ.
  - 9 TREES PROVIDED
- iv. VEGETATIVE UNDERSTORY: PLANTS SHALL BE PLANTED AT A RATE THAT PROVIDES NO LESS THAN 60% SCREENING AT A HEIGHT OF 3' ABOVE GRADE.
- 1,214.97' X (0.66) = 801.69 REQUIRED
  - 374' PROVIDED\*
- \*REQUESTING UNDERSTORY REQUIREMENTS BE REDUCED DUE TO TOPOGRAPHY OF THE SITE AND EXISTING WOODED AREA WITHIN THE CONSERVATION EASEMENT.
- IWV RD SW = 118.98' OF FRONTAGE WEST OF CONSERVATION EASEMENT
  - 118.98' X (0.66) = 78.53' REQ.
  - 16 SHRUBS @ 5'0" EA. = 80' PROVIDED
  - HURT RD SW = 441.07' OF FRONTAGE NORTH OF CONSERVATION EASEMENT
  - 441.07' X (0.66) = 291.11' REQ.
  - 42 SHRUBS @ 5'0" + 28 SHRUBS @ 3'0" = 294' PROVIDED
- vii. PLANTINGS SHALL BE LOCATED WITHIN THE REQUIRED FRONT YARD SETBACK AREA OR THE BUFFERYARD UNLESS OTHERWISE SPECIFIED BY THIS ORDINANCE.
- a) WHERE THE INTENT OF THESE LANDSCAPING REQUIREMENTS WOULD BE BETTER ACCOMPLISHED BY SCREENING THE USE AREA DUE TO TOPOGRAPHY OR OTHER NATURAL FEATURES OF THE SITE AND NEARBY SURROUNDING AREA, AT THE DISCRETION OF THE APPROVING AUTHORITY SCREENING MAY BE INSTALLED ALONG THE EXTERIOR OF SOME OR ALL PORTIONS OF THE USE AREA INSTEAD OF ALONG THE ENTIRE FRONTAGE OF BUFFERYARDS OR RIGHT-OF-WAY LINES. IN SUCH CASES, LANDSCAPING SHALL BE INSTALLED WITHIN 50' OF THE USE AREA.

PLANT SCHEDULE

| SYMBOL                                             | CODE | QTY | BOTANICAL NAME                | COMMON NAME         | INSTALL SIZE | COMMENT   | MATURE H. X W. |
|----------------------------------------------------|------|-----|-------------------------------|---------------------|--------------|-----------|----------------|
| <b>TREES</b>                                       |      |     |                               |                     |              |           |                |
|                                                    | BN   | 2   | Betula nigra                  | River Birch         | 2" Cal.      | B&B       | 60' x 45'      |
|                                                    | CO   | 2   | Celtis occidentalis           | Common Hackberry    | 2" Cal.      | B&B       | 60' x 40'      |
|                                                    | GD   | 2   | Gymnocladus dioica            | Kentucky Coffeetree | 2" Cal.      | B&B       | 60' x 40'      |
|                                                    | LT   | 3   | Liriodendron tulipifera       | Tulip Tree          | 2" Cal.      | B&B       | 80' x 50'      |
|                                                    | QB   | 3   | Quercus bicolor               | Swamp White Oak     | 2" Cal.      | B&B       | 60' x 60'      |
| <b>SHRUBS, ORNAMENTAL GRASSES &amp; PERENNIALS</b> |      |     |                               |                     |              |           |                |
|                                                    | CS   | 29  | Cornus sericea                | Red Osier Dogwood   | 30" Ht.      | Container | 12' x 8'       |
|                                                    | PV   | 26  | Panicum virgatum              | Switch Grass        | 24" Ht.      | Container | 6' x 4'        |
|                                                    | VD   | 29  | Viburnum dentatum "Arrowwood" | Arrowwood Viburnum  | 30" Ht.      | Container | 10' x 8'       |

